



INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080

Notice of Review

9/10/20

TO:

PROPERTY OWNER: 14 Bay Ave, LLC

PROPERTY ADDRESS: 14 Bay Ave

SECTION/ BLOCK/ LOT: 21/F/89

APPLICATION NO: 12001

APPLICATION REC'D: 6/30/2020

ZONE: Residence A

DESCRIPTION: The applicant is proposing to construct a new home, pool and curb cut.

The Proposed Construction does not comply with the following Village of Sea Cliff Code Section(s):

§ 107-4 Review required.

[Amended 10-7-1996 by L.L. No. 1-1996; 12-10-2018 by L.L. No. 7-2018; 5-11-2020 by L.L. No. 3-2020]

Site plan review, as provided herein, shall be required for the following, and the Planning Board shall approve, approve with modifications or disapprove applications, as follows:

- A. Applications for building permits. All building permit applications involving the proposed erection of any structure, other than accessory structures on previously improved property or additions to one-family dwellings where the gross floor area of the addition does not exceed 50% of the gross floor area of the existing dwelling.*
- C. Applications for development of land.*
- D. A change in access to a site or a change in circulation within a site that affects at least 20% of the paved and/or gravel area, increases the paved and/or gravel area by 10% or more, or relocates or increase the total linear width of any curb cut or cuts.*
- E. Any substantial change in topography. For purposes of this section, any change in topography in excess of one foot in height or elevation, at any point or over any ten-foot linear area, in any direction, shall be considered a substantial change.*
- F. Any construction involving an enlargement or modification to roof area or building footprint, or an addition or modification to an accessory structure, regardless of whether such structure qualifies for a building permit exemption under § 138-1205, for property abutting Hempstead Harbor.*

The applicant is proposing to construct a new home, pool and relocated curb cut.

§ 60-10 Type I actions.

For purposes of this chapter, Type I actions are those listed in Part 617. In addition to the list of actions in Part 617, the following actions are deemed by the Village to be Type I actions (where the following list conflicts directly with Part 617 listed actions (as determined by the Agency), the following list supersedes those provisions contained in Part 617):

- A. Any construction on slopes of 15% or greater (a fifteen-foot rise per 100 feet of length) or where the general slopes in the project area exceed 10%.*
- D. Construction that will continue for more than one year or involve more than one phase or stage.*
- F. Construction, addition, replacement or significant repair of a bulkhead.*
- G. Construction on or the development or use of a site which may affect a unique or unusual land form found on the site, including, but not limited to, cliffs, dunes, or geological formations.*
- H. Construction in a designated freshwater or tidal wetland.*
- J. Proposed action which will likely cause siltation or other discharge into an existing body of water to the extent that there will be obvious visual contrast to natural conditions.*
- M. Construction on or the development of use of a site which may alter the drainage flow or patterns of surface water runoff.*
- O. Proposed action which may cause substantial erosion.*

Q. Construction on or the development or use of a site which will be visible to users of an aesthetic resource and which will eliminate or significantly reduce the enjoyment of the aesthetic qualities of that resource.

R. Construction on or the development or use of a site which will result in the elimination or significant screening of scenic views known to be important to the area.

T. Construction on or the development or use of a site which may result in objectionable odors, noise or vibration such that odors will occur routinely (more than one hour per day), noise will be produced which exceeds the ambient noise levels permitted for noise outside of structures or natural barriers that would act as a noise screen will be removed.

The applicant is proposing to construct a new home, pool and relocated curb cut.



Shane Dommin

Village of Sea Cliff Building Department

Note; If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.



INCORPORATED VILLAGE OF SEA CLIFF

Post Office Box 340 • 300 Sea Cliff Avenue • Sea Cliff, NY 11579
(516) 671-0080 phone • (516) 671-6508 fax • www.seacliff-ny.gov

BUILDING PERMIT

APPLICATION ID # 12001 APPLICATION DATE 7/1/2020 PERMIT # _____

PROPERTY ADDRESS: 14 BAY AVE. SECT 21 BLOCK F LOT 89

Owner: 14 BAY AVE, LLC.
Address: 200 SEA LANE City: FARMINGDALE State: NY Zip: 11735
Phone: 516 426-9654 Cell: _____ Email: EALETTO@Bedgear.com

Applicant: (if applicant is different from owner state relationship to owner)
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Architect: JAMES CARBALLAL
Address: 80 LA-FAYETTE AVE. City: SEA CLIFF State: NY Zip: 11579
Phone: 516 375-1728 Cell: _____ Email: _____

Contractor: TBD
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Plumber: TBD
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Electrician: TBD
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Other/Mechanical: TBD.
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

A/C, Boiler, etc Model# _____
A/C, Boiler, etc Model# _____



PROPOSED WORK: Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

Re Build a Home SIMILAR TO EXISTING WITH
REDUCTION IN USE & DIMENSIONAL VARIANCES



INCORPORATED VILLAGE OF SEA CLIFF

Post Office Box 340 • 300 Sea Cliff Avenue • Sea Cliff, NY 11579
(516) 671-0080 phone • (516) 671-6508 fax • www.seacliff-ny.gov

BUILDING PERMIT

Cost of Improvement: \$ 1,000,000 ⁰⁰ ~~XX~~

Owner: Deposits and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.

Owner Signature: Eugene Altshuler MEMBER

Owner Signature: _____

SANDRA J LORENZ
NOTARY PUBLIC-STATE OF NEW YORK
No. 01L08285763
Qualified in Suffolk County
My Commission Expires 11-07-2020

Date: _____ Notary: Sandra J Lorenz 02/25/20

Contractors must submit proof of current insurance (C-105.2 or U-26.3 for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit

OFFICIAL USE

FEES \$150 pd 7/1/2020
Application Fee \$ 75 pd 7/1/2020
Permit Fees
Building _____
Plumbing _____
Electrical _____
Mechanical _____
Certificate _____
Other _____
Total Permit Fees \$

REQUIRED CERTIFICATES

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Approved by _____ Examined for approval on _____

New State Law Requires: Site visits by the **Building Department** prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the **Building Department**.

Village Code Requires: Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)

ZONING BOARD OF APPEALS _____
PLANNING BOARD (check one)

-----x
IN THE MATTER OF THE APPLICATION OF
EUGENE ALLETTO MEMBER
14 BAY AVE LLC

APPLICATION

Village of Sea Cliff.
-----x

NEW SINGLE FAMILY DWELLING WITH ATTACHED GARAGE

1. Name of applicant: EUGENE ALLETTO (MEMBER)

2. Applicant's address: 2001 SEA LAKE
FARMINGDALE N.Y. 11735

3. If the applicant is not an owner of the property which is the subject of this application, state the relationship of the applicant to the owner(s):

MEMBER

4. The property which is the subject of this application is located at: 14 BAY AVE N. Y., SEA CLIFF, Village of Sea Cliff, N. Y. and is also known as Section 21, Block 7, Lot(s) 89 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the property (if applicant is not the sole owner) is:

6. The property is located in the RES-A zoning district of the Village of Sea Cliff.

7. The subject property is located on the WEST side of BAY AVENUE (street).

8. The date on which the owner(s) acquired the property was 12/14/88.

9. The approximate dimensions of the property are 100 feet by 200 feet, and the total acreage of property is 1/2 acres.

10. The property is presently used for VACANT - WAS A A FAMILY RESIDENCE.

11. Are there existing buildings on the property? YES of _____

12. Are there any outstanding village taxes on the property? NO If so, for what years? —

13. The applicant or owner(s) wish to make use of the property for the purpose of: SINGLE FAMILY RESIDENCE

14. The Building Department of the Village of Sea Cliff denied an application for a building permit on 6/30/2020

15. The proposed construction use of the property does not comply with the following sections of the Village Code: 107-4,
60-10

16. This is an application for:

_____ an appeal

_____ a variance

_____ a special permit

other (describe): SITE PLAN REVIEW

17. Description of the problem, or reasons for this application, that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

SITE PLAN REVIEW -

18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? No If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application? YES
If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.
20. Are there any outstanding violation notices affecting the subject premises? No
21. Are there any pending court proceedings involving the subject premises? No
22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

198AY
Name of applicant: EUGENE DUETTO MEMBER
Signature of applicant: Eugene Duetto
Title of signatory: OWNER
Date: OCTOBER 24, 2020

AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the _____, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

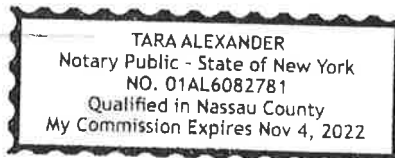
If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

EUOEUPE ALLETTO (MEMBER)
Print Name


Signature

Sworn to before me this 24
day of OCTOBER 2020.





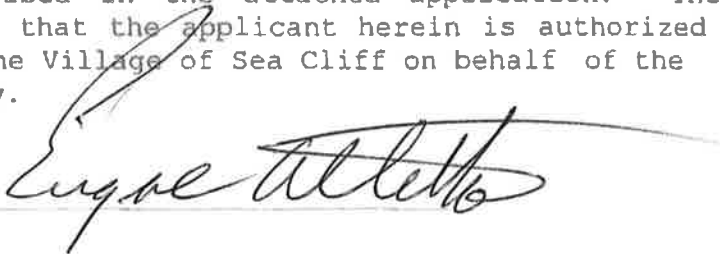
AFFIDAVIT OF OWNER(S)

(To be completed only if the applicant is not the sole owner)
(All owners must sign either as owner or applicant)

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

EUGENE ALLETTO (MEMBER) being duly sworn, deposes and says that (s)he is the owner of the property known as 14 BAY AVENUE in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 24 day of OCTOBER 2020

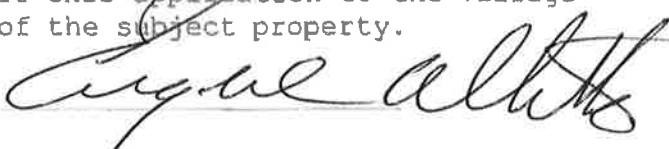


TARA ALEXANDER
Notary Public - State of New York
NO. 01AL6082781
Qualified in Nassau County
My Commission Expires Nov 4, 2022

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

EUGENE ALLETTO (MEMBER) being duly sworn, deposes and says that (s)he is the owner of the property known as 14 BAY AVE. in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 24 day of OCTOBER 2020



TARA ALEXANDER
Notary Public - State of New York
NO. 01AL6082781
Qualified in Nassau County
My Commission Expires Nov 4, 2022

ZONING BOARD OF APPEALS _____
PLANNING BOARD X (check one)
VILLAGE OF SEA CLIFF

-----X

In the Matter of the Application of

DISCLOSURE
AFFIDAVIT
General Municipal Law
Section 809

EUGENE ALETTO-----X

STATE OF NEW YORK) COUNTY OF NASSAU)

ss: EUGENE ALETTO, being duly sworn, deposes and says:

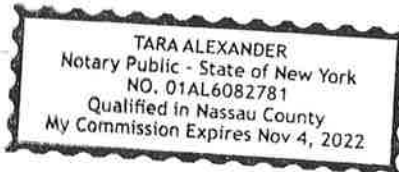
1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
<u>NONE</u>			

Eugene Aletto
Signature

Sworn to before me this 24
day of OCTOBER 2020.

Tara Alexander





Incorporated Village of Sea Cliff

Office of the Superintendent of Buildings

Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

Homeowner: _____

Date: _____

[Handwritten signature]
10/24/20

CONSULTANTS:

PROJECT:

ALLETTO PROPERTY
 14 BAY AVENUE
 SEA CLIFF, NY

NEW RETAINING WALLS

DATE	REVISION	BY
04/27/2021	REVISED AS PER NYSDEC	KHD
04/23/2021	REVISED AS PER NYSDEC	KHD
04/13/2021	REVISED AS PER NYSDEC	KHD
04/02/2021	REVISED FOR DEC SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

NOTE:
 Under N.Y.S. Education Law Sec. 2209 Sub 2, it is illegal for any person, unless acting under the direction of a LICENSED Professional Engineer, to alter any item on this material in any way. If any item is so altered, the Professional Engineer who so alters or who directs another to so alter, shall affix to the items his seal and the notation "altered" followed by his signature, the date of the alteration and a specific description of the alteration.



TITLE:

GRADING PLAN

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER
KHD	CGC	KHD	C-4
SCALE:	DATE:	PROJECT NO.:	
1"=10'	03/2019	19011	

NYSDEC
 APPROVED AS PER TERMS
 AND CONDITIONS OF
 PERMIT NO. L-2624-031910001
 DATE 6/9/2021 ckw
 6 of 14



LEGEND

- 20 --- EXISTING MAJOR CONTOUR
- 20 --- EXISTING MINOR CONTOUR
- 20 --- PROPOSED CONTOUR
- - - - - PROPERTY LINE

18TH AVENUE

BAY AVENUE

HEMPSTEAD HARBOR
 FLOOD → EBB

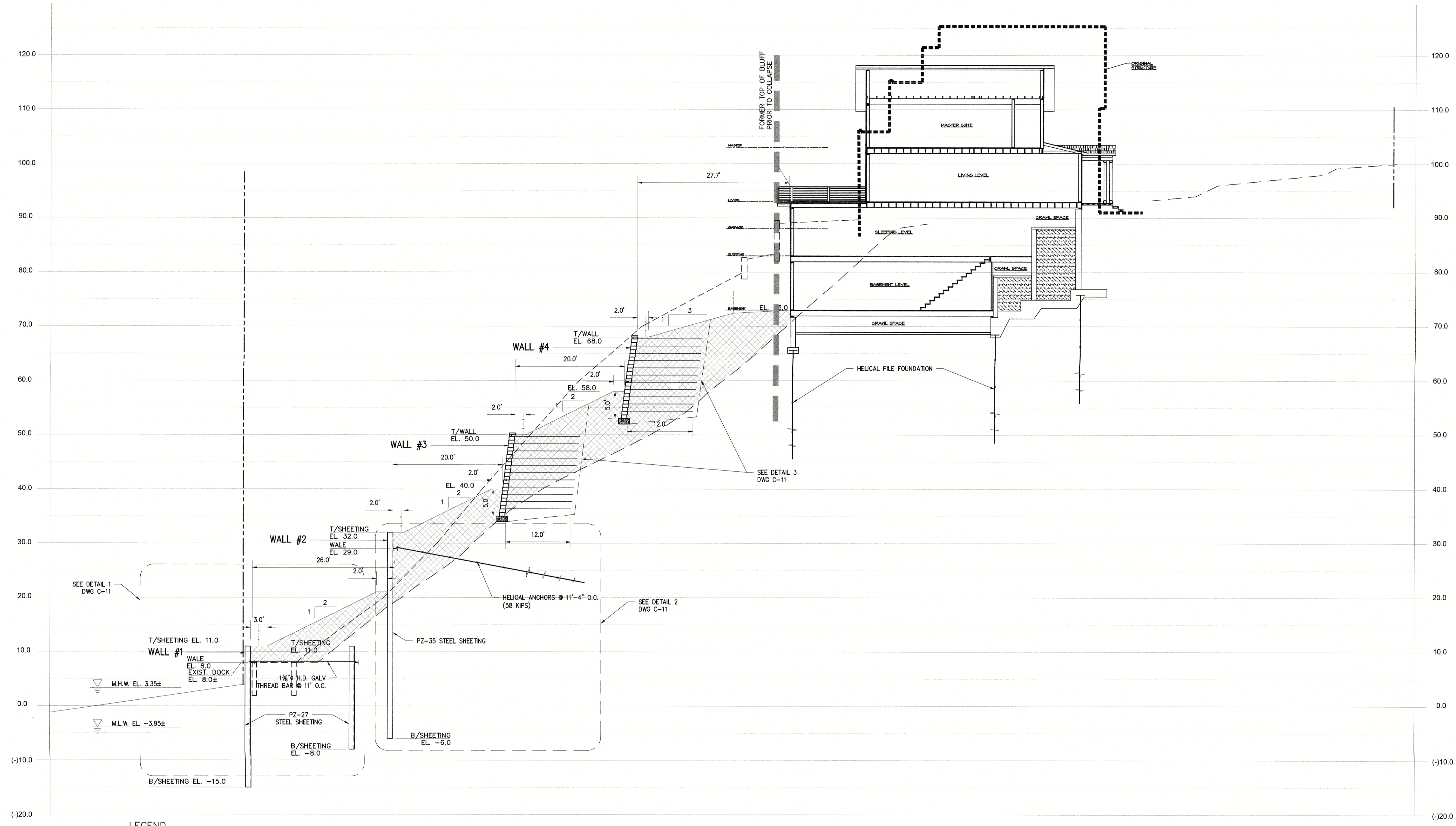
C:\Users\khd\OneDrive\Documents\Projects\18677\18677.dwg (Scale: 1/8"=1'-0") (Date: 03/2019) (Sheet: 4 of 14) (Title: GRADING PLAN) (Author: Kurt Henry Dietrich) (Date: 03/2019) (Sheet: 4 of 14) (Title: GRADING PLAN)

CONSULTANTS:

PROJECT:

ALLETTO PROPERTY
 14 BAY AVENUE
 SEA CLIFF, NY

NEW RETAINING WALLS

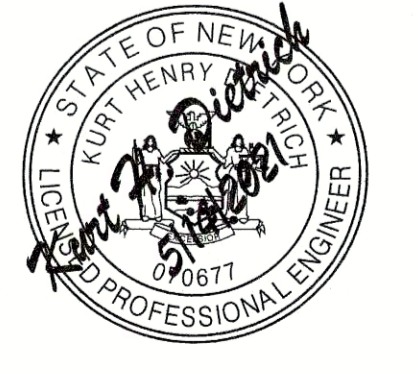


SECTION A-A
 SCALE: 1"=10'

LEGEND
 - - - ORIGINAL GRADE PRIOR TO WALL COLLAPSE
 ——— EXISTING GRADE
 ——— PROPOSED GRADE

DATE	REVISION	BY
04/27/2021	REVISED AS PER NYSDEC	KHD
04/23/2021	REVISED AS PER NYSDEC	KHD
04/13/2021	REVISED AS PER NYSDEC	KHD
04/02/2021	REVISED FOR DEC SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

NOTE:
 Under N.Y.S. Education Law Sec. 7209 Sub. 2, it is illegal for any person, unless acting under the direction of a LICENSED Professional Engineer, to alter any item on this material in any way. If any item is so altered, the Professional Engineer who so alters or who directs another to so alter, shall affix to the items his seal and the notation "altered by" followed by his signature, the date of the alteration and a specific description of the alteration.



NYS DEC
 APPROVED AS PER TERMS
 AND CONDITIONS OF
 PERMIT NO. 1-28234-03199/0001 (M02)
 DATE 4/4/2021 CLK
 9 of 14

TITLE:

SECTION A-A

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER:
KHD	CGG	KHD	C-7
SCALE:	DATE:	PROJECT NO.:	
1" = 10'	03/2019	19011	

CONSULTANTS:

PROJECT:

ALLETTO PROPERTY
 14 BAY AVENUE
 SEA CLIFF, NY

NEW RETAINING WALLS



LEGEND
 - - - ORIGINAL GRADE PRIOR TO WALL COLLAPSE
 - - - EXISTING GRADE
 - - - PROPOSED GRADE

SECTION B-B
 SCALE: 1"=10'

NYSDEC
 APPROVED AS PER TERMS
 AND CONDITIONS OF
 PERMIT NO. 1-2824-03199/0001 (MOD)
 DATE 6/4/2021 CKW
 10 of 14

DATE	REVISION	BY
04/27/2021	REVISED AS PER NYSDEC	KHD
04/23/2021	REVISED AS PER NYSDEC	KHD
04/13/2021	REVISED AS PER NYSDEC	KHD
04/02/2021	REVISED FOR DEC SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
09/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

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 Under N.Y.S. Education Law Sec. 7209 Sub. 2, it is illegal for any person, unless acting under the direction of a LICENSED Professional Engineer, to alter any item on this material in any way. If any item is so altered, the Professional Engineer who so alters or who directs another to so alter, shall affix to the items his seal and the notation "altered by" followed by his signature, the date of the alteration and a specific description of the alteration.



TITLE:

SECTION B-B

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER:
KHD	CGC	KHD	C-8
SCALE:	DATE:	PROJECT NO.:	
1" = 10'	03/2019	19011	

C:\Users\khd\OneDrive\Documents\Engineering\19011 Bay Ave Retaining Walls\2021-03-19 19011 Bay Ave Retaining Walls\19011 Bay Ave Retaining Walls.dwg (C:\Users\khd\OneDrive\Documents\Engineering\19011 Bay Ave Retaining Walls\2021-03-19 19011 Bay Ave Retaining Walls.dwg) User: khd Date: 6/4/2021 10:14:14 AM

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 1

SUNY @ Stony Brook, 50 Circle Road, Stony Brook, NY 11790

P: (631) 444-0365 | F: (631) 444-0360

www.dec.ny.gov

June 4, 2021

14 Bay Ave LLC
C/O Eugene Alletto
110 Bi County Blvd Ste 101
Farmingdale, NY 11735

Re: Permit #1-2824-03199/00001

Dear Permittee:

In conformance with the requirements of the State Uniform Procedures Act (Article 70, ECL) and its implementing regulations (6NYCRR, Part 621) we are enclosing your **modified** permit identified above. Please carefully read all permit conditions contained in the permit to ensure compliance during the term of the permit. If you are unable to comply with any conditions please contact us at the above address.

Sincerely,



Claire Werner
Environmental Analyst II

cc: Land Use Ecological Services, Inc.
Dietrich Engineering PC
BMHP
File



Department of
Environmental
Conservation



PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:

14 BAY AVENUE LLC
C/O EUGENE ALLETTO
110 BI COUNTY BLVD STE 101
FARMINGDALE, NY 11735
(516) 426-9654

Facility:

14 BAY AVENUE LLC PROPERTY
14 BAY AVENUE NCTM 21-F-89
SEA CLIFF, NY 11579

Facility Application Contact:

LAND USE ECOLOGICAL SERVICES INC
570 EXPRESSWAY DR S STE 2F
MEDFORD, NY 11763-2049
(631) 727-2400

Facility Location: in OYSTER BAY in NASSAU COUNTY

Facility Principal Reference Point: NYTM-E: 613.572 NYTM-N: 4522.73
Latitude: 40°50'51.9" Longitude: 73°39'09.7"

Project Location: 14 Bay Ave Watercourse: Hempstead Harbor

Authorized Activity: Modify bluff stabilization project to consist of the following: install two (2) bulkheads and two (2) block retaining walls, remove remains of bluff stairs, existing block walls and fence, install storm water controls (drywells, overflow pipes and splash pads for scour protection), place approximately 4,000 cubic yards of fill landward of the bulkheads and retaining walls as backfill, install bluff stairs, install a 100 square foot deck directly landward of the bulkhead, install a 4' by 6' cantilevered platform, beach stairs with stair hoist, and plant the bluff with native vegetation. Remove debris field associated with prior collapse of the bluff and dispose of at an approved upland site. All authorized activities must be in strict conformance with the attached plans stamped NYSDEC approved on 6/4/2021. (CKW)

Note: The area landward of the top of bluff (prior to collapse) is beyond Tidal Wetlands Act (Article 25) jurisdiction.

Permit Authorizations

Tidal Wetlands - Under Article 25

Permit ID 1-2824-03199/00001

New Permit	Effective Date: <u>1/31/2017</u>	Expiration Date: <u>1/30/2022</u>
Modification # 1	Effective Date: <u>7/3/2018</u>	Expiration Date: <u>1/30/2022</u>
Modification # 2	Effective Date: <u>7/17/2019</u>	Expiration Date: <u>1/30/2022</u>
Modification # 3	Effective Date: <u>6/4/2021</u>	Expiration Date: <u>1/30/2022</u>



NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: SHERRI L AICHER, Deputy Permit Administrator
Address: NYSDEC Region 1 Headquarters
SUNY @ Stony Brook|50 Circle Rd
Stony Brook, NY 11790 -3409

Authorized Signature: Sherril L. Aicher

Date 6/4/2021

Distribution List

LAND USE ECOLOGICAL SERVICES INC
Bureau of Marine Habitat Protection
CLAIRE K WERNER

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: TIDAL WETLANDS

1. Post Permit Sign The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

2. Notice of Commencement At least 48 hours prior to commencement of the project, the permittee and contractor shall sign and return the top portion of the enclosed notification form certifying that they are fully aware of and understand all terms and conditions of this permit. Within 30 days of completion of project, the bottom portion of the form must also be signed and returned, along with photographs of the completed work.

3. Conformance With Plans All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Dietrich Engineering PC, Sheets G-1, G-1A, and C-1 through C-12, last revised 4/27/2021, stamped NYSDEC approved on 6/4/2021.



4. Filter Fabric Curtain Around Work Area A filter fabric (turbidity) curtain weighted across the bottom and suspended at the top by floats shall be positioned to enclose the work site before commencing construction. The curtain shall remain in place and in functional condition throughout construction and shall remain in place for a minimum of two hours after in-water work has ceased and turbidity inside the curtain no longer exceeds ambient levels.

5. Machinery Access Seaward of Mean High Water Any machinery access occurring below Apparent High Water shall be done only during periods of low tide. When not in use, equipment shall be moved to an upland location and contained so that it does not come into contact with New York State waters.

6. Debris All debris to be removed from slope collapse must be disposed of at an approved C & D landfill.

7. Long-term Plant Survival The bluff face shall be planted with salt tolerant, native species and the permittee shall ensure a minimum of 85% survival of plantings by the end of five growing seasons. If this goal is not met, the permit holder shall re-evaluate the restoration project in order to determine how to meet the mitigation goal and submit plans to be approved by the office of:

Marine Habitat Protection
NYSDEC Region 1 Headquarters
SUNY @ Stony Brook | 50 Circle Road
Stony Brook, NY 11790-3409

8. Concrete Leachate During construction, no wet or fresh concrete or leachate shall be allowed to escape into any wetlands or waters of New York State, nor shall washings from ready-mixed concrete trucks, mixers, or other devices be allowed to enter any wetland or waters. Only watertight or waterproof forms shall be used. Wet concrete shall not be poured to displace water within the forms.

9. No Construction Debris in Wetland or Adjacent Area Any debris or excess material from construction of this project shall be completely removed from the adjacent area (upland) and removed to an approved upland area for disposal. No debris is permitted in wetlands and/or protected buffer areas.

10. No Disturbance to Vegetated Tidal Wetlands There shall be no disturbance to vegetated tidal wetlands or protected buffer areas as a result of the permitted activities.

11. Staging/Storage of Equipment, Materials As per approved Sheet C-12, the staging/storage of construction equipment and materials associated with bluff stabilization shall be initially confined to the storage & work barges (Staging Area #1), then expanded to the area landward of the lower bulkhead once constructed (Staging Area #2), and finally expanded to the area landward of the upper bulkhead once constructed (Staging Area #3).

12. Seeding Disturbed Areas All areas of soil disturbance resulting from the approved project shall be stabilized with appropriate vegetation (grasses, etc.) immediately following project completion or prior to permit expiration, whichever comes first. If the project site remains inactive for more than 48 hours or planting is impractical due to the season, then the area shall be stabilized with straw or hay mulch or jute matting until weather conditions favor germination.



13. Clean Fill Only All fill shall consist of clean sand, gravel, or soil (not asphalt, slag, flyash, broken concrete or demolition debris).

14. Department Jurisdiction The department retains jurisdiction of all regulated lands where fill has been permitted. Placement of fill shall not be used to alter the department's Tidal Wetland jurisdictional area at the project site. The area remains a regulated area subject to Tidal Wetland Land Use restrictions of 6 NYCRR Part 661.

15. No Beach Excavation For Fill No excavation of the beach is authorized for the purpose of obtaining fill or stone materials.

16. Grade to Match That Adjacent to Bulkhead All fill must be graded to match the elevation of the land immediately adjacent to the bulkhead.

17. Backfilling All peripheral berms, cofferdams, rock revetments, seawalls, gabions, bulkheads or other approved shoreline stabilization structures shall be completed prior to placement of any fill material behind such structures.

18. Bulkhead Replacement The new lower bulkhead shall be constructed immediately seaward of the existing structure (as shown on the approved plans).

19. No Structures on Bulkhead No permanent structures shall be installed on the authorized bulkhead without first obtaining written department approval (permit, modification, amendment).

20. Excavation for Bulkhead/Structure Prior to any construction or removal of bulkheads and other shoreline stabilization structures all backfill shall be excavated landward of the structure and retained so as not to enter the waterway, tidal wetland or protected buffer area.

21. No Runoff Over or Through Bulkhead or into Wetland There shall be no discharge of runoff or other effluent over or through any bulkhead or shoreline stabilization structure or into any tidal wetland or protected buffer area.

22. Wood Preservatives

- a. Pressure treated wood used for construction of in-water structures must have undergone a treatment process approved (stamped or otherwise marked as certified) by the American Wood Preservative Association.
- b. Wood treated with Pentachlorophenol (PCP) must not be used in marine or brackish waters. Wood treated with PCP must be aged in the open air for at least three months prior to in-water use.
- c. The use of creosote treated wood is prohibited both in the water and upland areas.
- d. Chromated Copper Arsenate (CCA) pressure treated wood must be clean and free of CCA surface deposits. Wood with surface deposits must be washed for at least 5 minutes under running water prior to use. The washing must occur greater than 100 feet landward of any regulated wetland and/or water body. (Note "E." below for handling wash water.)
- e. Any wood debris such as sawdust or wash water must not enter any water body, including wetlands or protected buffer areas.



23. No Structures on Pilings No structures, other than structures specifically authorized by this permit, shall be constructed on pilings without further authorization from the department (permit, modification or amendment).

24. Vegetate All Disturbed Areas The permittee shall revegetate all exposed faces and disturbed areas to prevent soil erosion prior to the project completion or expiration date of this permit, whichever comes first.

25. Install, Maintain Erosion Controls Necessary erosion control measures, i.e., straw bales, silt fencing, etc., are to be placed on the downslope edge of any disturbed area. This sediment barrier is to be put in place before any disturbance of the ground occurs and is to be maintained in good and functional condition until thick vegetative cover is established.

26. Tidal Wetland Covenant The permittee shall incorporate the attached Covenant (or similar Department-approved language) to the deed for the property where the project will be conducted and file it with the Clerk of Nassau County within 30 days of the effective date of this permit. This deed covenant shall run with the land into perpetuity. A copy of the covenanted deed or other acceptable proof of record, along with the number assigned to this permit, shall be submitted within 90 days of the effective date of this permit to

Marine Habitat Protection
NYSDEC Region 1 Headquarters
SUNY @ Stony Brook| 50 Circle Road
Stony Brook, NY 11790-3409
Attn: Compliance

27. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

28. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.



29. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

30. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. Facility Inspection by The Department The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 1 Headquarters
SUNY @ Stony Brook|50 Circle Rd
Stony Brook, NY11790 -3409

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Tidal Wetlands.



5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

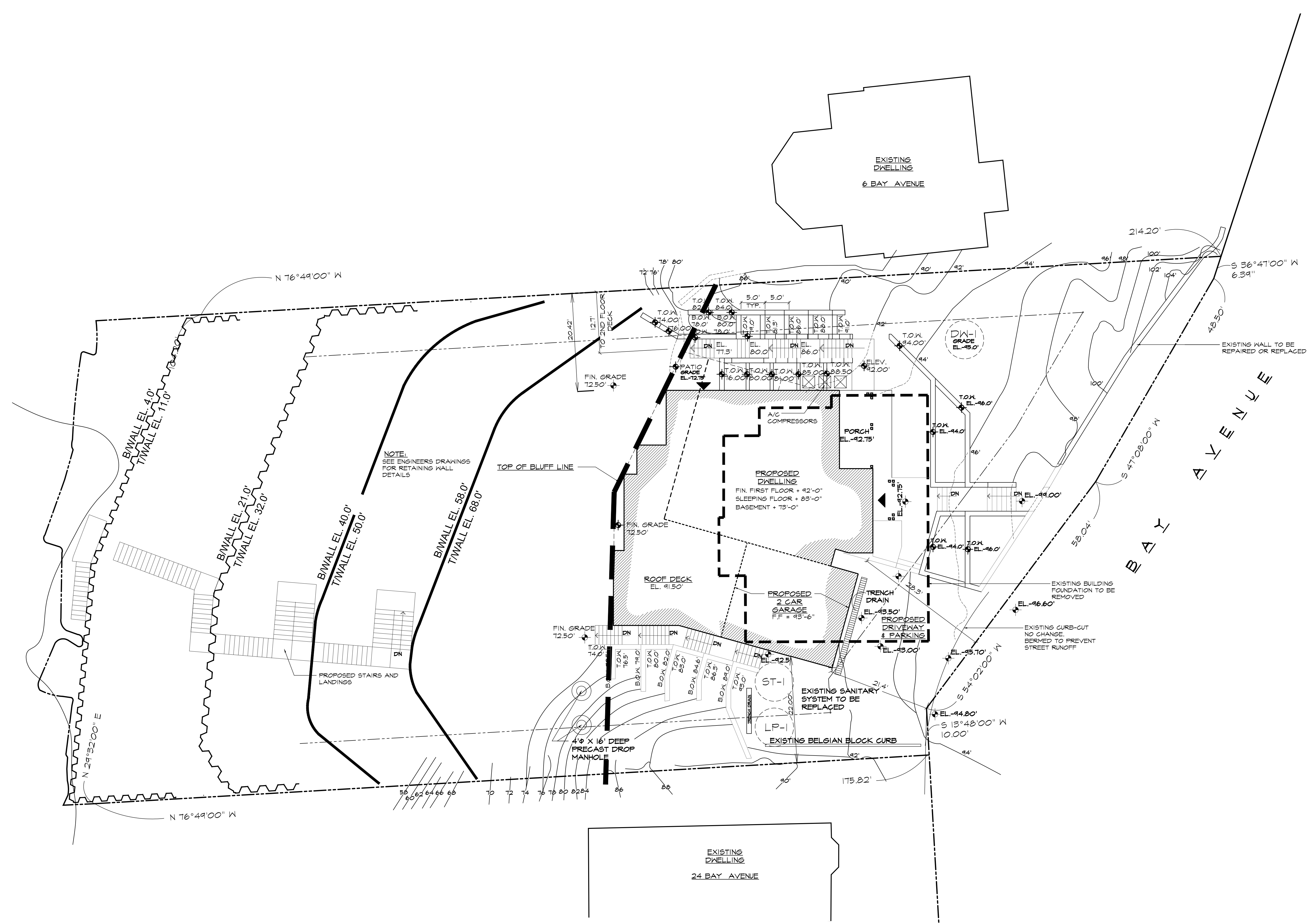


Item C: Permittee Responsible for Obtaining Other Required Permits

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.



NORTH
 SITE PLAN

SCALE: 1"=10'

JAMES T. CARBALLAL
 ARCHITECT
 TELEPHONE: 516.674.3936
 80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:
 AS NOTED

DATE:
 4-1-21

DRAWN BY:
 JTC

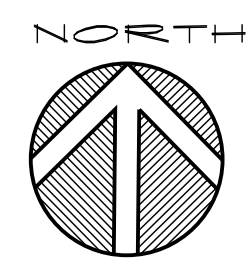
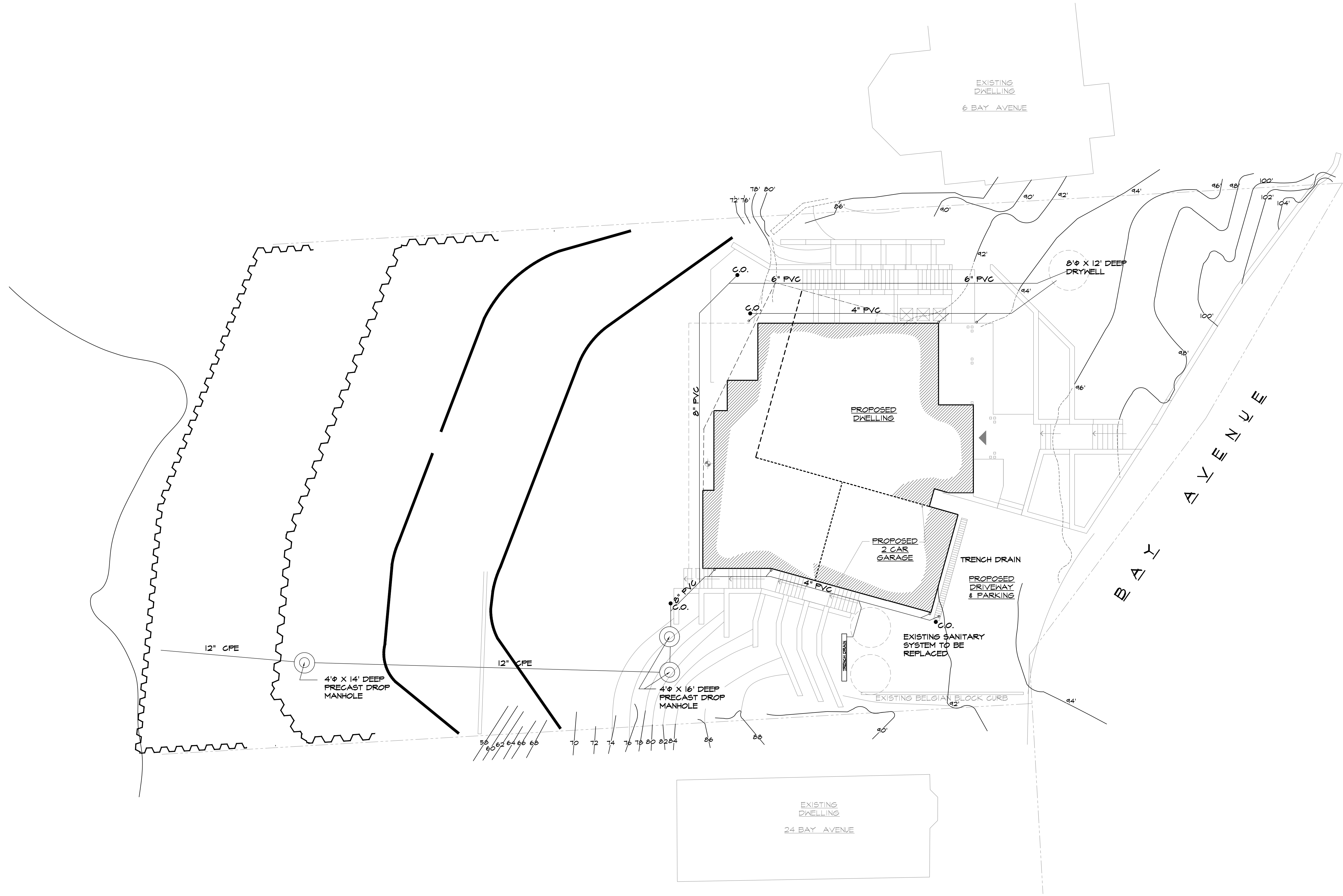
REVISIONS:
 T-22-21
 REVISED PER DEC
 REQUIREMENTS

DRAWING:
SITE PLAN

14 BAY AVENUE RESIDENCE
 14 BAY AVENUE, SEA CLIFF, NY 11579

FOR PLANNING BOARD REVIEW T-22-21

DWG. NO.
S-01



DRAINAGE PLAN

SCALE: 1"=10'

**JAMES T. CARBALLAL
ARCHITECT**
TELEPHONE: 516.674.3936
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:
AS NOTED

DATE:
4-1-21

DRAWN BY:
JTC

REVISIONS:
T-22-21
REVISED PER DEC
REQUIREMENTS

DRAWING:
**DRAINAGE
PLAN**

14 BAY AVENUE RESIDENCE
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.
D-1

FOR PLANNING BOARD REVIEW T-22-21

SWIMMING POOL ENCLOSURE NOTES

- 1.- POOL ENCLOSURE SHALL COMPLETELY SURROUND THE SWIMMING POOL AND OBSTRUCT ACCESS TO THE SWIMMING POOL..
- 2.- THE BARRIER MUST BE AT LEAST FOUR FEET HIGH.
- 3.- THE BARRIER MATERIALS, AND CONSTRUCTION MUST COMPLY WITH ALL ASPECTS OF THE "2011 UNIFORM CODE - REQUIREMENTS FOR SWIMMING POOLS"
- 4.- ALL GATES MUST BE SELF CLOSING AND IF INTENDED FOR PEDESTRIAN ACCESS THEY MUST BE "OUT SWINGING"
- 5.- ALL GATES MUST BE SELF CLOSING AND LATCHING AS PER THE 2011 UNIFORM CODE SPECIFICATIONS.
- 6.- ALL DOORS WITH DIRECT ACCESS TO THE POOL MUST BE EQUIPPED WITH AN ALARM, OR OTHER MEANS OF PROTECTION SUCH AS SELF CLOSING DOORS WITH "APPROVED" SELF LATCHING DEVICES, PER THE 2011 UNIFORM CODE.

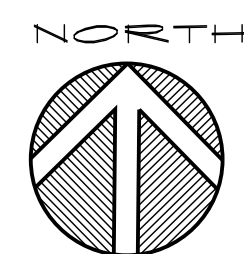
SYMBOL - PLANT LIST

- SIZE EXISTING TREE TO REMAIN
- SIZE EXISTING TREE TO BE REMOVED
- PROPOSED 4' HIGH POOL FENCE
- ⊗ BEACH ROSE - CAROLINA ROSE
- ⊙ WINTER HOLLY SHRUB
- ⊕ TR-COLOR WILLOW SHRUB

LIGHTING FIXTURE TYPES

- ⊕ LANDSCAPE PATH LIGHTING
- ⊙ WALL MOUNTED DIRECTIONAL LIGHTING
- ▬ STEP LIGHTING

NOTE:
ALL OUTDOOR LIGHTINGS WILL BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES



LANDSCAPING & LIGHTING PLAN

SCALE: 1"=10'



JAMES T. CARBALLAL
ARCHITECT
TELEPHONE: 516.674.3936
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:
AS NOTED

DATE:
4-1-21

DRAWN BY:
JTC

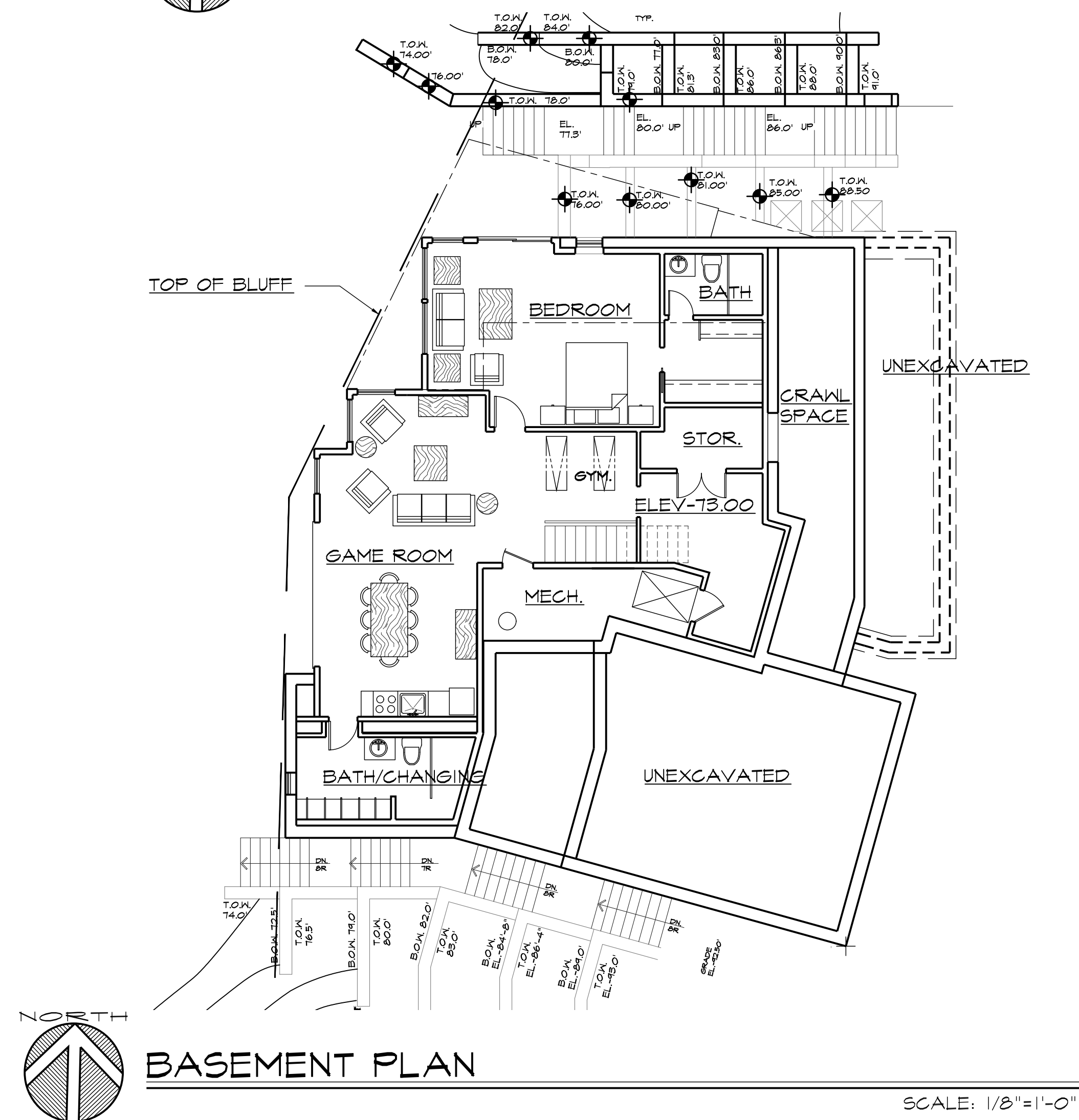
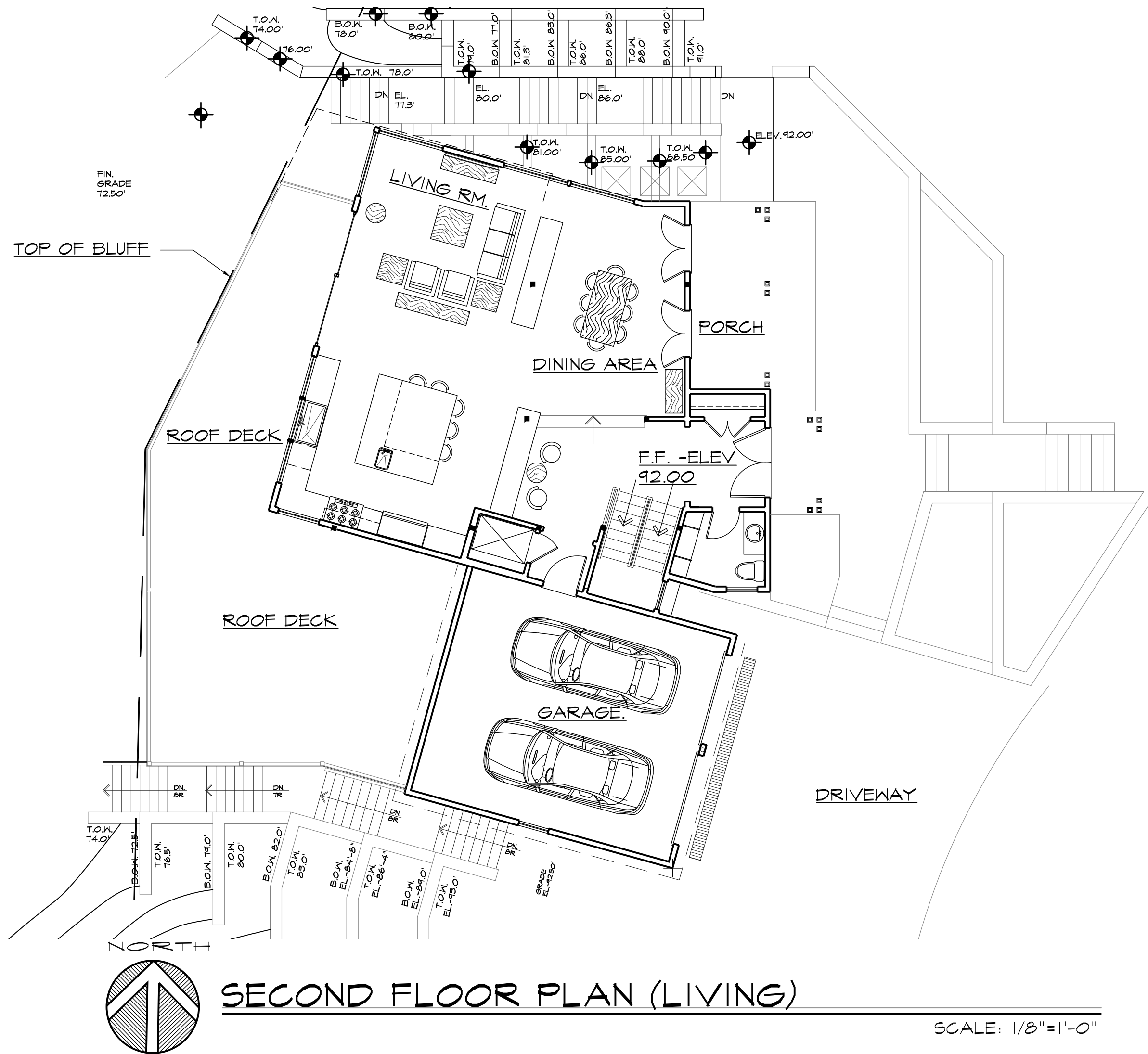
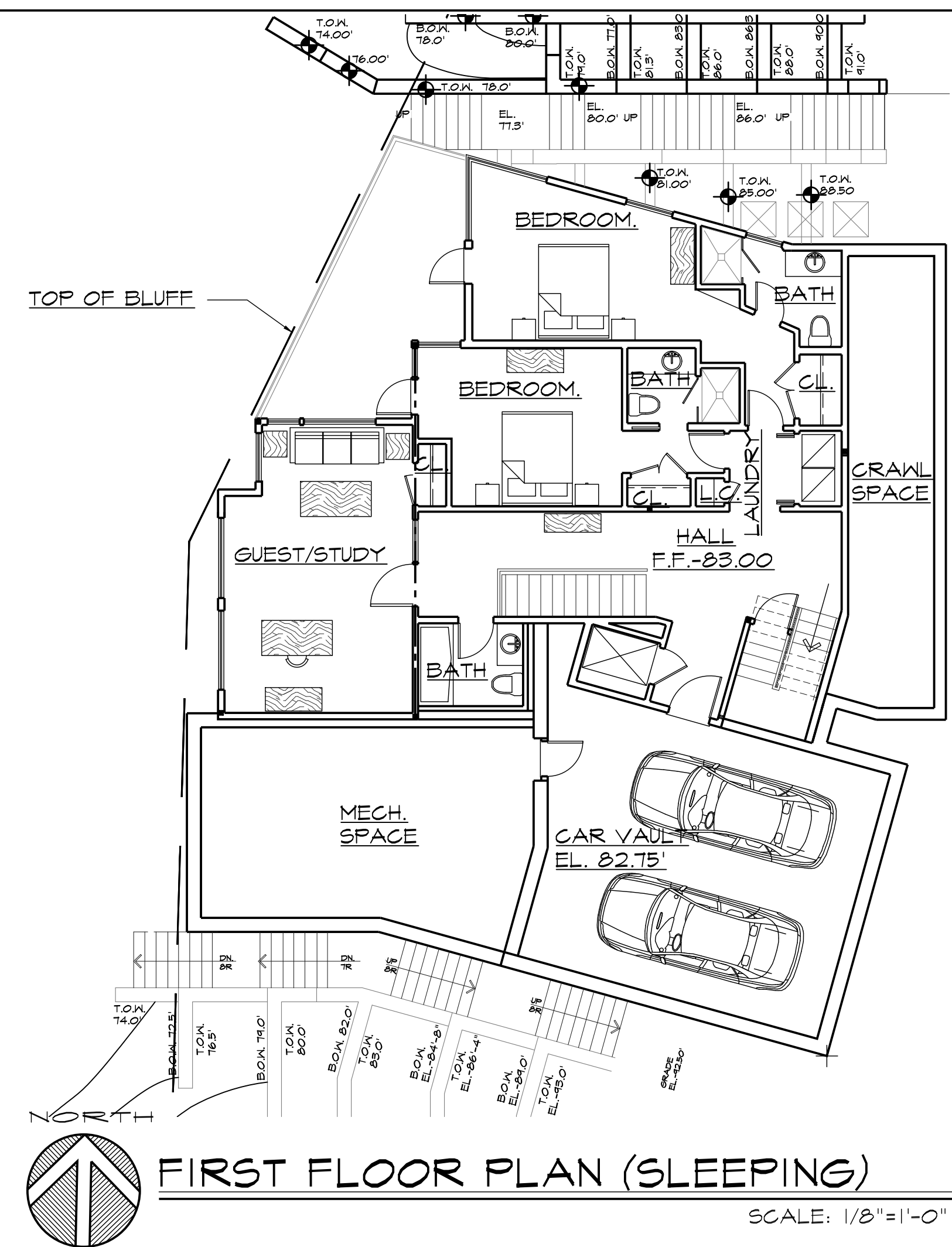
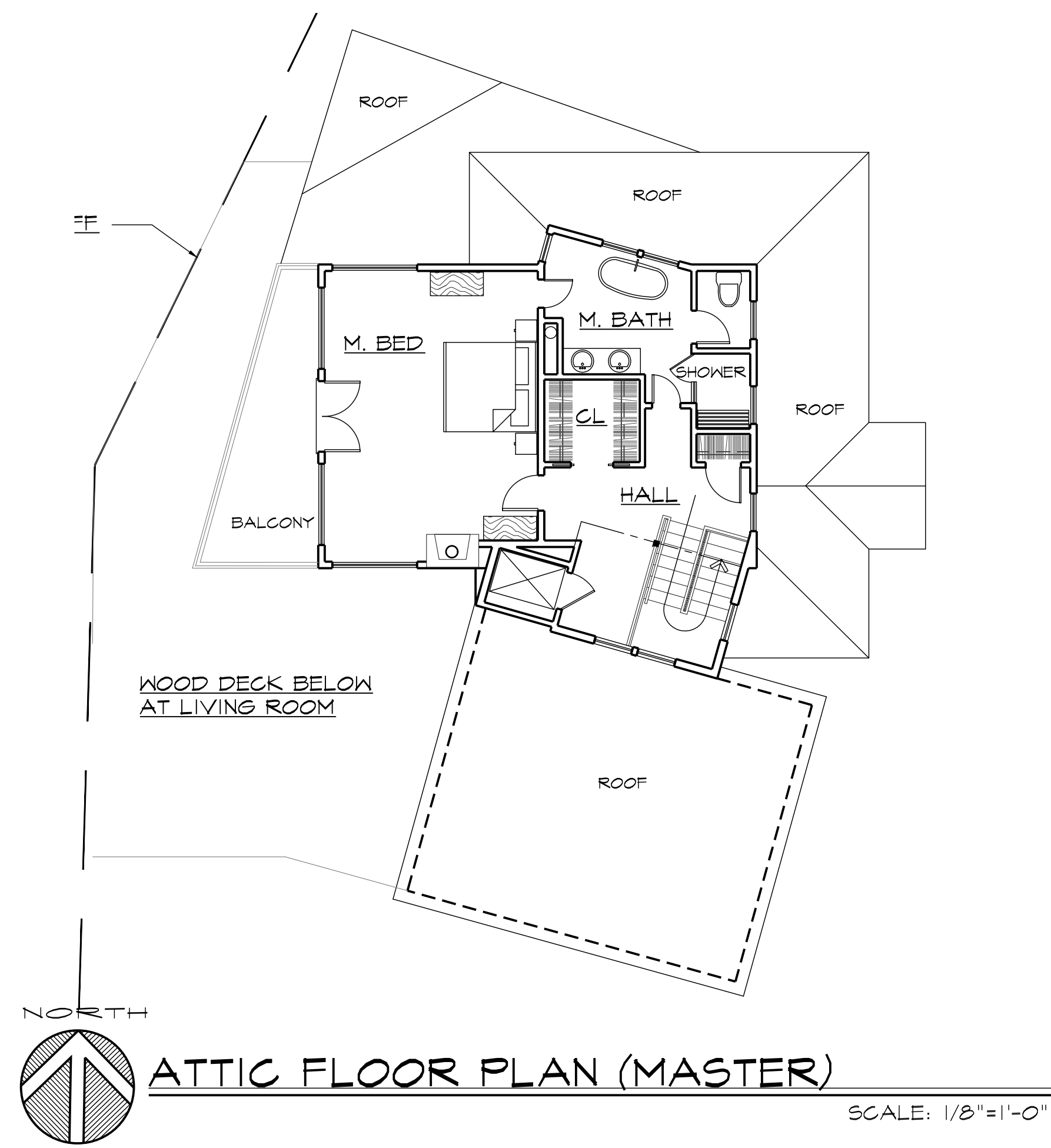
REVISIONS:
7-22-21
REVISED PER DEC
REQUIREMENTS

DRAWING:
LAND-
SCAPE &
LIGHTING
PLAN

14 BAY AVENUE RESIDENCE
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.
11

FOR PLANNING BOARD REVIEW 7-22-21



JAMES T. CARBALLAL
ARCHITECT
TELEPHONE: 516.674.3936
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:
AS NOTED

DATE:
4-1-21

DRAWN BY:
JTC

REVISIONS:
T-22-21
REVISED PER DEC
REQUIREMENTS

DRAWING:
FLOOR
PLANS

FOR PLANNING BOARD REVIEW T-22-21

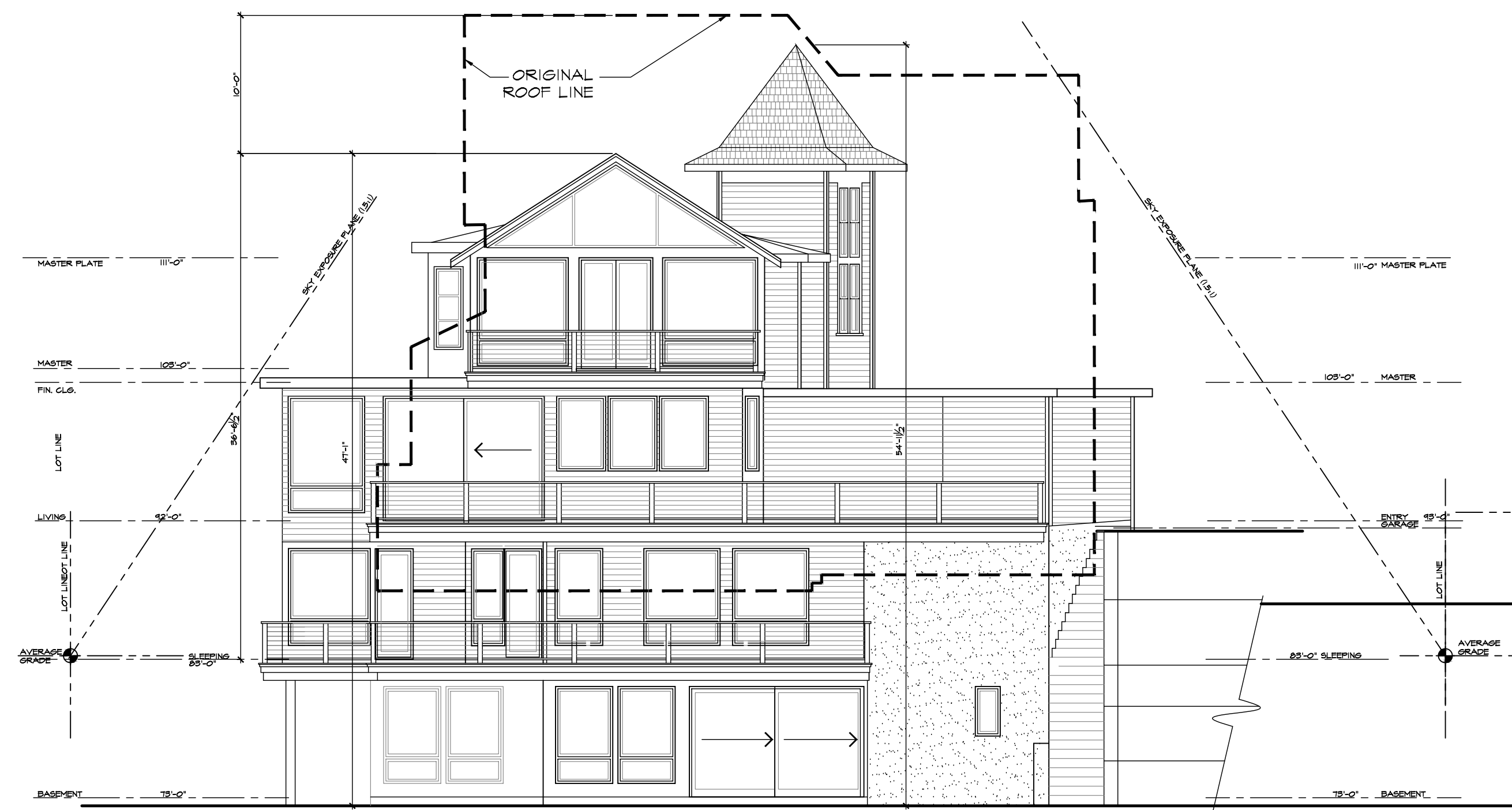
14 BAY AVENUE RESIDENCE
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.
A-1



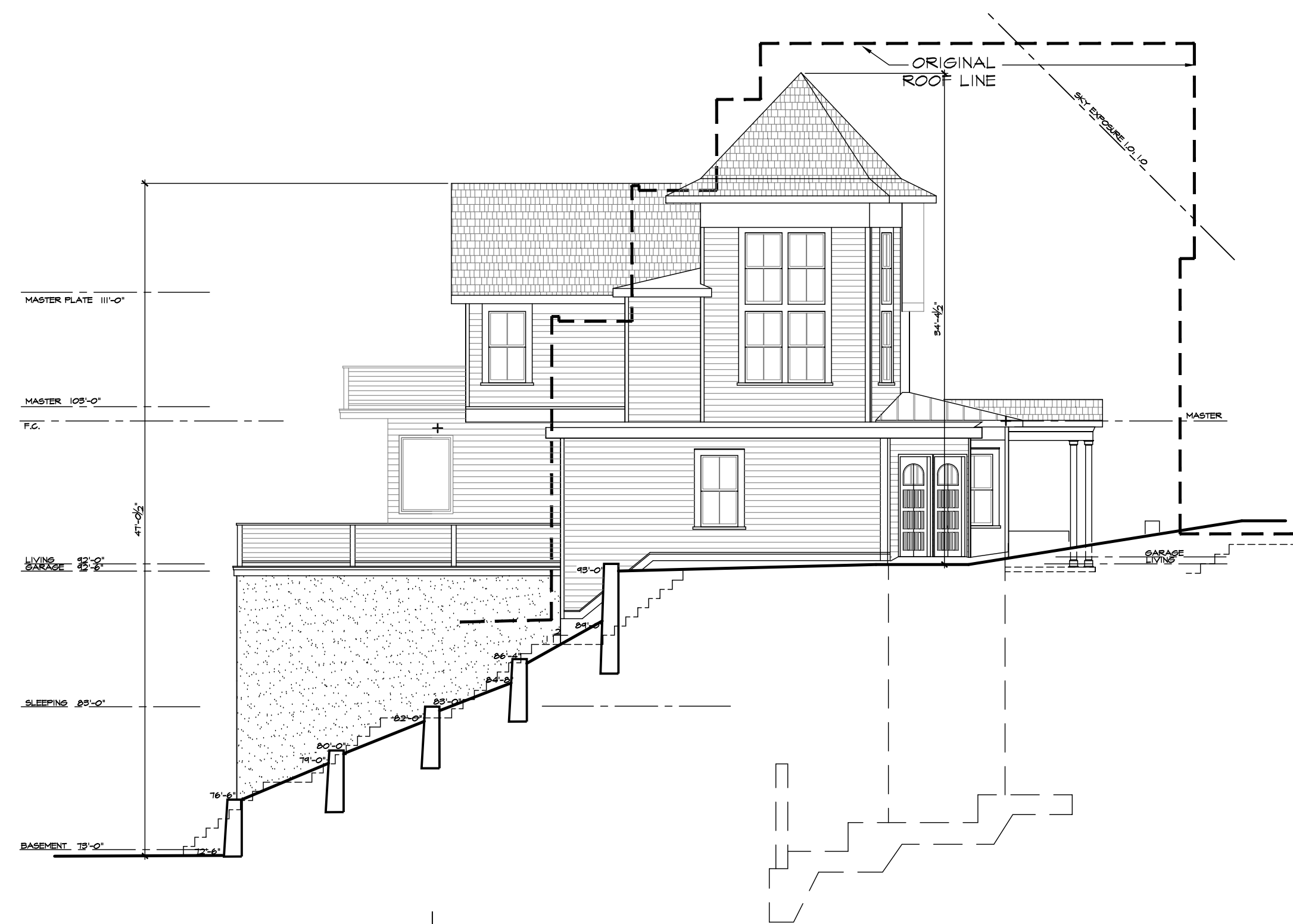
RIGHT SIDE ELEV.

SCALE: 1/8"=1'-0"



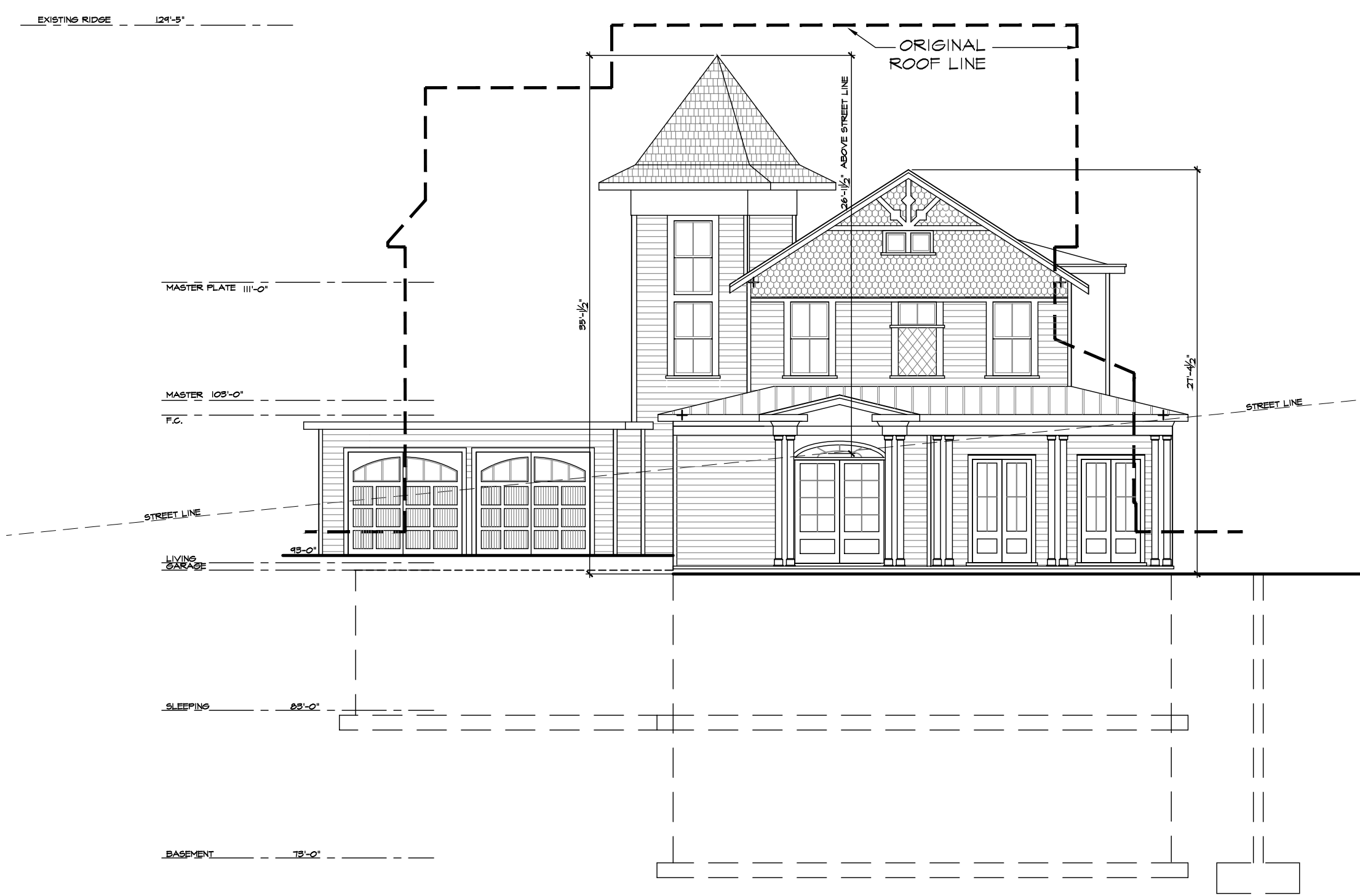
REAR ELEV.

SCALE: 1/8"=1'-0"



LEFT SIDE ELEV.

SCALE: 1/8"=1'-0"



FRONT ELEV.

SCALE: 1/8"=1'-0"

JAMES T. CARBALLAL
ARCHITECT

TELEPHONE: 516.674.9936
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:
AS NOTED

DATE:
4-1-21

DRAWN BY:
JTC

REVISIONS:
7-22-21
REVISED PER DEC
REQUIREMENTS

DRAWING:
ELEV'S.

14 BAY AVENUE RESIDENCE
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.

A-2

FOR PLANNING BOARD REVIEW 7-22-21



James Carballal <jamescarballal@gmail.com>

14 Bay Avenue-temporary shoring for house foundation

1 message

Kurt Dietrich <Kurt@depcli.com>
To: James Carballal <JamesCarballal@gmail.com>
Cc: Eugene Alletto <ealletto@bedgear.com>

Fri, Jul 23, 2021 at 1:49 PM

Jim;

Per our conversation regarding the shoring and bracing for the house foundation at [14 Bay Avenue, Sea Cliff](#), I will try to explain how the shoring is to be installed. See the attached drawings showing the proposed shoring, in red, in both plan view and section view.

The proposed shoring is proposed to provide support for the existing roadway of Bay Avenue and side neighbors while the foundation is being constructed. The shoring method is known as soldier piles and lagging. The soldier piles are vertical steel beams installed into the ground. Approximately 30 such piles will be needed. These piles are to be drilled into place with an auger, the pile installed into the augered hole, and the hole filled with concrete grout. Then, as the foundation is excavated, timber lagging will be manually installed between each soldier pile. When the foundation work is finished, the soldier piles and lagging will be removed and the foundation may be backfilled to the appropriate grades.

If you have any questions regarding this installation procedure, please contact me.

Kurt

Kurt H. Dietrich, P.E.

Dietrich Engineering, P.C.

344 Lenox Road

Huntington Station, N.Y. 11746

Office: 631-427-5540

Fax: 631-470-0994

Mobile: 631-746-9419

kurt@depcli.com

www.depcli.com

AAZ EXHIBIT (1)

F. Scobbo Contractors, Inc. & Foundation Systems

Certified N.Y.S. W.B.E.



1212 Port Washington Boulevard • Port Washington, New York 11050
(516) 944-PIER • F: (516) 944-2522
www.nynjhelix.com

Job Site Schedule

TO: Eugene Alletto
14 Bay Ave, Sea Cliff, NY
Date: July 10th, 2021

Scheduling Estimated

1 Marine Operations

Expected materials order placement date: End of July

Expected delivery of materials and mobilization for start of marine operations scope of work: Mid September

2. Estimated completion of marine operations: Estimated 2-3 months depending on weather

Upland Work:

S.O.E.: expected start Mid November

Demo of existing building: TBD (not within our scope of work at this time)

Upland Retaining Walls: Estimated Nov / Dec

Building construction: TBD- Winter 2022 estimated

Frank T. Scobbo
Vice President
www.Scobbo.com
www.Nynjhelix.com
www.Helixmarinellc.com
FScontractorsinc@aol.com or FSOFNY@AOL.COM



F. Scobbo Contractors, Inc. & Foundation Systems

Certified N.Y.S. W.B.E.

1212 Port Washington Boulevard • Port Washington, New York 11050
(516) 944-PIER • F: (516) 944-2522
www.nynjhelix.com

Job Site Safety

TO: Eugene Alletto
14 Bay Ave, Sea Cliff, NY
Date: Julyth, 2021 (revised) 1

RE: Safety and planning

NOTIFICATON PROCEDURE

1. Pre – Planned or Scheduled Closures: Notification to the V.O.S.C. Building Dept, N.C.P.D., S.C.F.D.
2. Incident Notification procedure: Type and Agency
 - a. Emergency Incident: While operating on the water, use of 911 system and VHF Marine 16 to notify NCPD Marine Unit at Tappan Beach Marina.
 - b. Spill: N.Y.S. DEC Spill Response unit located in Stonybrook, NY
 - c. Building issue: Code or Building Dept concerns: Contact the Building Dept.
 - d. Emergency Incident upland: Notification to 911 system via cell phone.
 - e. Complaints/ Concerns: Directed to the Village of Sea Cliff Bldg Dept.
3. Storm or weather event requiring temporary demobilization of marine equipment: Weather events that pose a potential threat to the safety of marine equipment staged on site, will be relocated to the following locations: a) Glen Cove Creek / Dock b) Port Washington loading terminal off West Shore Road.
4. Safety Equipment: All required PPE will be worn by employees while on site
5. Site safety fence to be erected by others prior to the demo and of the existing structure.
6. No Trespass signs to be posted on site .

Frank T. Scobbo
Vice President
www.Scobbo.com
www.Nynjhelix.com
www.Helixmarinellc.com
FScontractorsinc@aol.com or FSOFNY@AOL.COM



F. Scobbo Contractors, Inc. & Foundation Systems

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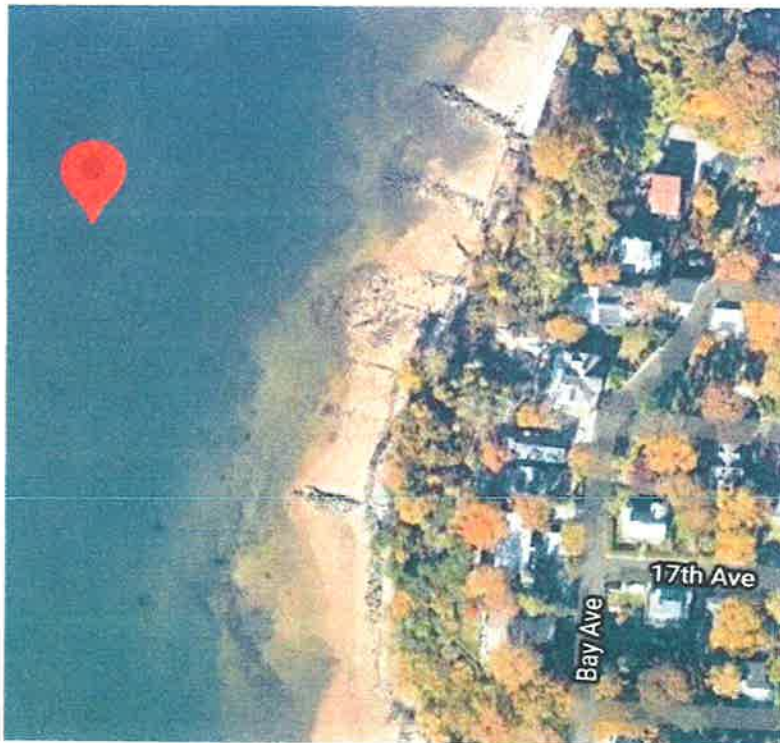
Staging & Logistics

TO: Eugene Alletto
14 Bay Ave, Sea Cliff, NY
Date: June 30th, 2021 (revised) 1

RE: Staging and logistics plan for
Bulkhead sea wall installation

Marine Operations & Staging:

1. Marine bulkhead materials will be delivered to site via marine transport. Staging . Loading will be Port Washington and Glen Cove marine terminal docks.
2. Materials will be loaded up at a local marine terminal and transported to site as needed for installation
3. Barge and related equipment will be staged at installation locations within property zone within 2 hours of high tide. Pin location drop indicates staging area.



- 4.
5. Staging as needed of marine equipment will also be on our own commercial 2400 lb mooring in Glen Cove Harbor

July 6, 2021



Additional Staging Area for Marine Equipment on 2400 Lb Commercial Mooring

- 6.
7. Crew will enter the site from the water side at the appropriate tide as well as parking in existing driveway of 14 Bay Ave. It should be noted, timber float walkway will be staged on the beach to allow the crew to enter the site at low tide cycles as needed
8. Equipment will be walked on to the beach from the shoreline for the tieback construction and landward sheeting wall.
9. Survey points and control points to be installed by third party prior to start of work.
10. Vibration monitors to be installed by independent third party prior to sheeting installation.
11. Owner to provide pre-construction survey of existing adjacent structures in order to mitigate unwarranted claims of damage from neighbors property during steel installation.
12. First scope of work to be initiated will be partial dredge operations from a barge
13. In conjunction with the steel bulkhead installation, demo and removal of the existing concrete platform will be initiated as the wall progresses. Care and caution will be used in demo of platform as the prevent washout of upland soils during removal of the platform. (see photos marked # 13, 15 below)



14.

15.



16.

17. Installation of steel bulkhead will be completed with vibratory hammer EMV 400. (spec sheet attached)
18. Steel materials for bulkhead wall is NZ 14 steel sheeting in 20 ft and 15 ft lengths. Rear wall to be installed with 10 degree offset landward. Cut sheet attached of NZ 14.
19. Tieback rods to be Williams Forms or approved equal threaded bar tiebacks
20. The second steel corrugated wall 20ft landward behind the steel bulkhead seawall will be connected via tie=rods and connected to the bulkhead. These two walls will act as one solid unit and will be installed with equipment and materials transported to the site via tug and barge.
21. If needed, parking at the site will be on 14 Bay ave driveway for 1 -2 commercial vehicles. Crew will walk to the site as needed. Walkway to the beach area will be constructed from driveway area

July 6, 2021

22. Dredge soils will be relocated from the site and replaced back on the hill behind the new sheeting to be installed.
23. Depending on final location of the sheeting bulkhead seawall, additional fill materials may be transported to the site via barge from local marine terminal.
24. Any additional demo or clean up materials will be completed seaward of the site .
25. Materials will be staged on site as needed. Crews will not be on site all days due to tide cycles.
26. No anticipated road closures for sea-wall marine work.
27. Rain, run-off mitigation plan to be completed by Dietrich PE from Bay Ave driveway – Proposed to install mountable asphalt curb to prevent water run off into driveway at 14 Bay Ave.

Frank T. Scobbo
Vice President
www.Scobbo.com
www.Nynjhelix.com
www.Helixmarinellc.com
FScontractorsinc@aol.com or FSOFNY@AOL.COM



F. Scobbo Contractors, Inc. & Foundation Systems

Certified N.Y.S. W.B.E.

1212 Port Washington Boulevard • Port Washington, New York 11050

(516) 944-PIER • F: (516) 944-2522

www.nynjhelix.com

Staging & Logistics

TO: Eugene Alletto
14 Bay Ave, Sea Cliff, NY

Date: July 1st, 2021 (revised)

RE: Staging and logistics plan for

Retaining walls inland – means and methods are proprietary to Scobbo Contractors.

Logistics & Staging Upland Foundation and Retaining Walls:

1. All demo of existing house to be completed prior to starting upland work.
2. Retaining wall materials to be staged on site in small quantities due to limited access and available laydown area storage.
3. Owner to obtain parking permit to use temporary parking – consisting of two (2) parking spots in front of 14 Bay Ave.
4. Existing driveway to be utilized first for parking and staging, additional parking if needed will be on Bay Ave- pictured here are the parking spots to be utilized if needed for parking and unloading

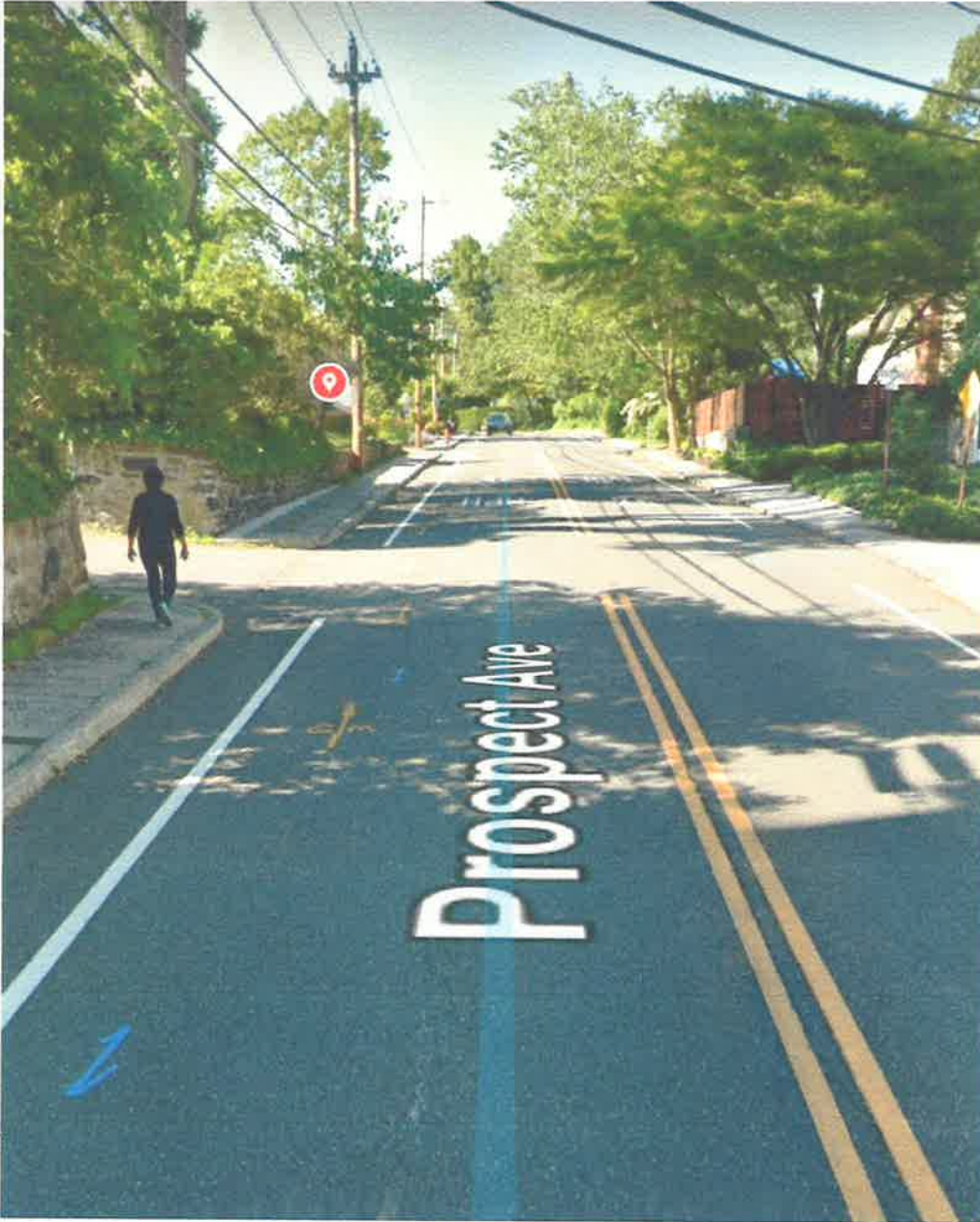


5.



6. Deliveries will be guided down 16th Ave . Flagman used for traffic control. Mostly straight trucks and smaller trailers only.
7. Road closure permits to be obtained in advance of large deliveries requiring closing Bay Ave at 16th Ave,. Owner to cover costs for permits.
8. Flagman will be utilized for off loading operations and traffic safety.
9. During off loading of SOE equipment and materials, materials will be backed down 16th Ave and unloaded at intersection .
10. All concrete trucks will be backed down 16th Ave.

11. During days of concrete pumping, flagman will be placed at W15th Ave and 16th Ave for traffic control. Road closures will be required for concrete pumping operations.
12. BAY AVE at intersection of 16th ave will need to be closed temporarily when pumping concrete
13. Trucks will be staged on Prospect Ave as needed to unload equipment and materials (steel, concrete, etc)



- 14.
15. A standard size 22 meter concrete boom pump will be used on the days required to pour concrete foundations- Due to the size of the boom pump and limited access, site vehicles will be staged on Prospect Ave and 16th Ave. as needed.



16.

17. If needed, our company ATV will be used to transport crew and small tools to and from company vehicles parked on Prospect Ave to Bay Ave in an effort to reduce over-crowding. (line # 19)

18. Surety Bond will be provided by Assured Partners LLC, located at 100 Bayles Road, Melville, NY for protection of Bay Ave and 16th Ave staging area. NOTE: Demo site work is excluded from my scope of work at this time. Surety Bond to be issued upon mobilization for upland construction associated with our scope of work.



19.

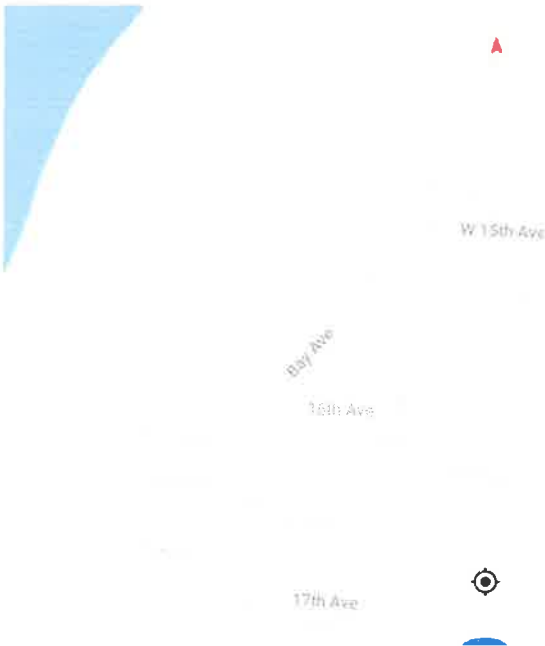
20. Any flagman will be equipped with two-way radios to communicate to each other and foreman on site.

21. The Sea-Cliff Fire Dept and NCPD 6th Pct. will be notified of any temporary closures during unloading, loading and concrete pumping operations.

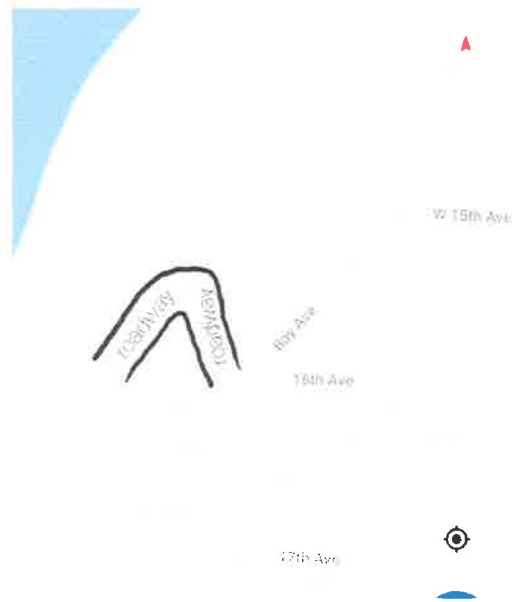
22. Once the existing house is demolished, that footprint will be used for staging and laydown as needed.

23. Retaining walls will be constructed first prior to concrete foundation pouring.

24. Roadway will be constructed on a 2:1 slope to transport equipment and materials to the first retaining wall at EL.44.0



25.



- 26.
27. A second steel bulkhead retaining wall is to be constructed at EL 36.00 from upland means and access.
28. Steel for second tier wall to be mobilized from both roadway and marine water way
29. Vibration monitoring to remain in place from shoreline bulkhead construction operation. Same monitors to be used for 2nd tier wall installation.
30. The First concrete block retaining wall to be constructed started at EL. 44.0. Materials to be delivered in stages as needed.
31. Soil import means will be from 16th Ave and Bay Ave in straight trucks-
32. *Unknown start dates.* Shoreline stabilization to be completed first.
33. Pre-cast concrete materials to be utilized for (2) retaining walls upland of the second steel retaining wall. Material spec cut sheets to be submitted at a later date.

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SPECIFICATIONS FOR BUILDING CONDITION SURVEY AND PILE DRIVING VIBRATION MONITORING

1.0 DESCRIPTION

- A. **Building Condition Survey** – This work shall consist of performing building and property condition surveys for adjacent surrounding properties to the project site, and creating permanent records of existing conditions prior to the start of the work, after completion of the work and at locations and times during the construction as directed by the responsible Engineer.
- B. **Vibration Monitoring** – This work shall consist of performing vibration monitoring of background and construction activities for the duration of the pile driving operations, and preparing daily and summary reports of vibration readings.

2.0 MATERIALS

- A. **Building Condition Survey** – Provide general photography and video equipment , in digital format, capable of superimposing the date and time on all images.
- B. **Vibration Monitoring** – Provide a 3-component seismograph, capable of measuring particle velocity data in three mutually perpendicular (3-axis) directions. Annual factory calibration is required throughout the duration of the work.

3.0 CONSTRUCTION DETAILS

- A. **General** – The Contractor shall engage the services of a firm capable of furnishing a New York State Licensed Professional Engineer to conduct a condition survey of the existing adjacent surrounding properties and buildings (see Attached Map). The Contractor shall engage the services of an experienced vibration monitoring consultant to measure peak particle velocities prior to, and during, the pile driving operations for the bulkhead and retaining walls. Submit the qualifications and experience of the firm’s personnel conducting the Building Condition Survey and Vibration Analysis.
- B. **Building Condition Survey** – Provide, as a minimum, the following information:
 - 1. Photographic and video documentation of the interior and exterior condition of the buildings, including retaining walls and support structures.
 - 2. Extent and location of existing signs of building or structure distress, such as cracks, spalling, signs of settlement, flooding, leaking, etc.

The Engineer may accompany the Contractor on each building condition survey for verification of the data recorded. Provide two (2) copies of all documentation of each building condition survey to the Engineer.

C. **Vibration Monitoring** – Perform continuous vibration monitoring during the bulkhead pile driving operations. The Contractor shall perform the pile driving operations in such a manner as to limit vibrations to the allowable limits.

1. Prior to starting work, the Contractor shall submit a written Vibration Monitoring Plan to the Engineer, for approval. No work may start until the plan is approved by the Engineer and Village of Sea Cliff. The Vibration Monitoring Plan shall include the necessary information to outline the recording collection. The Vibration Monitoring Plan shall include, but not be limited to, the following items:

a. **General Information:**

- i) The names of the specialists assigned to this work.
- ii) The scheduled start date and length of construction operations which require vibration monitoring.
- iii) The limits of vibration monitoring work, including adjacent properties.
- iv) The location of all structures to be monitored in proximity to the construction operations.
- v) The location of any underground utilities in proximity to the construction operations.

b. **Experience and Equipment**

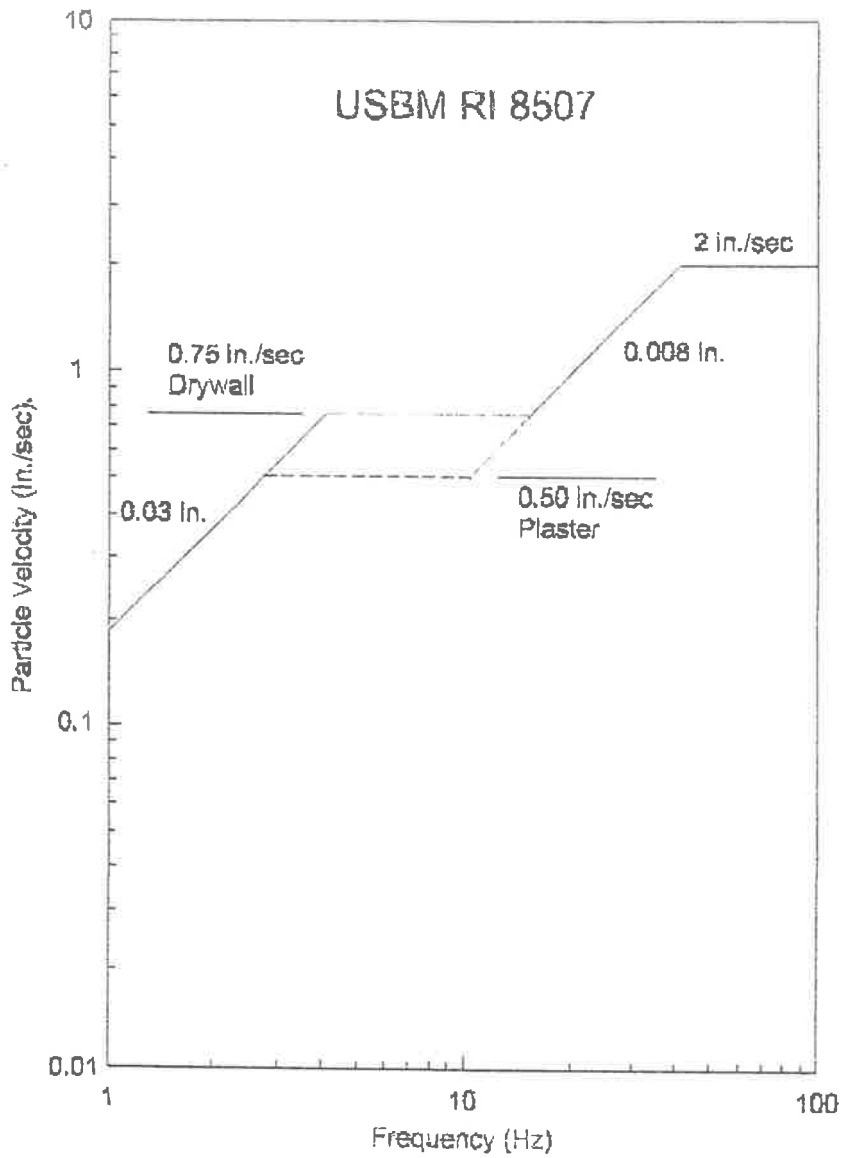
- i) Submit proof and details, as references, of two projects in the past five years where the vibration monitoring consultant performing the work has satisfactorily monitored construction operations by recording peak particle velocities (PPV's). Include contact information for each reference.
- ii) Submit information on the required 3-component seismograph, capable of measuring particle velocity data in three mutually perpendicular directions, including manufacturers name, model number, and documentation of factory calibration performed within the prior 12 months.

c. **Methods and Procedures**

- i) The location of adjacent structures to be monitored and maximum allowable PPV's as indicated by the chart in Figure 1.
- ii) The location of seismograph(s) placements, as determined by the Consultant and the Engineer-of-Record for the project.
- iii) Appropriate details for anchoring the geophone(s).
- iv) The procedure for tracking PPV throughout the construction operations (e.g., Pile driving operations; pile tip vs. vibrations may be correlated through time of day. A record of the time of day at each depth interval, included on the pile driving records, would be required to correlate to a time-based readout of PPV).

Figure 1 – Safe Vibration Limit Recommendations for Residential Structures

This figure provides a “threshold damage” limit, defined as cosmetic damage (e.g.; cracking) within a structure, categorized by both frequency ranges and particle velocity.



2. **Measuring Vibrations** – The Contractor shall inform the Project Engineer immediately each time measured particle velocities exceed 85% of the allowable peak particle velocity. The Contractor shall make equipment or procedural modifications as required to avoid exceeding the allowable vibration intensity.

If the measured velocities exceed the maximum allowable PPV's, the Contractor shall stop operation immediately and revise equipment and procedures to reduce vibrations to allowable levels.

The Contractor shall be in communication with the monitoring firm's personnel during vibration monitoring at all locations to verify the data recorded.

The Contractor shall provide the project Engineer with the results of the daily vibration monitoring, one workday after the readings are taken. Upon completion of the construction operations, daily submittals shall be synthesized into a final report.

If the seismographs show any indication of damage during the duration of the monitoring, the seismographs shall be immediately recalibrated or replaced.

EMV 70
EMV 300



EMV 400
EMV 525

EXCAVATOR MOUNTED VIBRATORS



SHEET PILING WITH AN EMV

Driving short sheet piles can be a pain as most experienced piling foremen will know. Using conventional frames you have to take them away almost immediately after pitching because there is no length to drive. Then trying to control line or lean with an air hammer or vibro on the end of a long string from a crane is virtually impossible.

The solution is to grab hold of the pile head with a hydraulic clamp on the end of an excavator boom. This means you can horse the pile head around until it is exactly where you want it.

You then need a vibrator in between the boom head and hydraulic clamp to provide linear vibrations which, in conjunction with the excavator crowd force (shove), will stuff the pile into most ground conditions.

That is precisely what EMV's do.

You can also pull the piles out with this tool and, if you run into obstructions, simply detach the vibro, put the bucket back on and hook it out. But for goodness sake don't try doing this with long sheets. They should be accurately pitched and never horsed around afterwards.

Generally you only have 5 to 6 metres (15-20 feet) of headroom under the bucket so this governs the pile length.



ADVANTAGES OF THE EMV'S

- Compact, robust and reliable
- Simple and fast attachment to excavator
- Minimal height to maximise pile length
- Slim design to drive single piles
- High power to weight ratio
- Universal joint suspension for easy alignment of piles
- Extremely low vibration transmitted to excavator
- Environmentally friendly – low noise/localised directional vibration
- Automatic hydraulic clamp operation
- Flexibility in application
- Flow regulator prevents excessive oil supply to vibrator

WHAT DO YOU NEED

An excavator, wheeled or tracked with adequate hydraulic power.

Simply remove the bucket off the excavator and pin on the EMV using appropriate shafts, spacers and washers to ensure adequate strength and minimum slack.

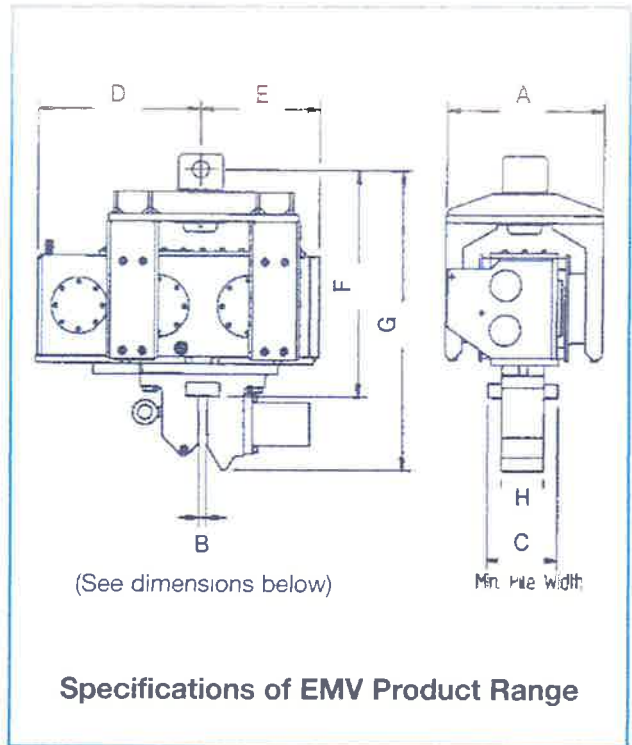
Connect up the bucket cylinder hoses to the EMV. Run a drain line from the EMV back to the tank.

Sequence valves control the rest. Operate the bucket cylinder control lever and the clamping cylinder will close. Leave it in



position and the cylinder will come up to pressure, keep the lever in position and the sequence valve will then direct oil flow to the monitor which will start up vibrations.

Centre the bucket cylinder control lever and the monitor runs down to a stop. When the motor has stopped turning the hydraulic clamp can be released by operating the bucket lever in the opposite direction, **HAVING FIRST ENSURED THAT IT IS SAFE TO DO SO, I.E. DO NOT DROP ANYTHING.**



Characteristic	Units	EMV70	EMV300	EMV300A	EMV400	EMV400D	EMV525
Static Moment	in.lbs	60	400	400	545	545	674
	kgm	0.7	4.6	4.6	6.2	6.2	7.6
Frequency	vpm	3,000	2,400	2,400	2,460	2,460	2,500
Centrifugal Force	lbs	15,730	67,420	67,420	91,340	91,340	119,880
	kN	70	300	300	400	400	525
Amplitude – peak to peak	ins	0.134	0.58	0.58	0.55	0.5	0.51
	mm	3.4	14.7	14.7	14	12	13
Minimum Required Flow Rate	gpm	8	35	35	52	52	68
	l/min	30	130	130	195	195	256
Maximum Allowable Flow Rate	gpm	32	67	67	94	94	107
	l/min	120	250	250	350	350	400
Minimum Hydraulic Pressure	psi	3,480	3,480	3,480	3,480	3,480	3,625
	bar	240	240	240	240	240	280
Maximum Hydraulic Pressure	psi	5,076	5,076	5,076	5,076	5,076	5,076
	bar	350	350	350	350	350	350
Minimum Hydraulic Motor Power	hp	16	70	70	107	107	160
	kW	12	52	52	80	80	120
Dynamic Mass	lbs	900	1,380	1,380	2,038	2,240	2,576
	kg	410	625	625	910	1,000	1,150
Total Mass	lbs	1,150	1,890	1,890	2,632	2,834	3,360
	kg	520	860	860	1,175	1,265	1,500
Maximum Pile Mass	lbs	1,760	1,760	1,760	2,240	2,240	3,136
	kg	800	800	800	1,000	1,000	1,400
Maximum Push/Pull Loading	lbs	6,171	17,600	33,600	33,600	33,600	33,600
	kg	2,800	8000	15,000	15,000	15,000	15,000
Typical Excavator Weight	Ton	5.5 to 17	13 to 39	13 to 39	27 to 50	27 to 50	33 to 60
	Tonne	5 to 15	12 to 35	12 to 35	25 to 45	25 to 45	30 to 55
Dimensions mm (inch)	A	360 (14.2)	560 (22)	615 (24)	615 (24)	615 (24)	750 (29.5)
	B	25 (1)	25 (1)	25 (1)	25 (1)	32 (1.25)	40 (1.5)
	C	250 (10)	250 (10)	250 (10)	220 (8.7)	230 (9)	230 (9)
	D	455 (18)	582 (23)	582 (23)	640 (25)	640 (25)	850 (33.5)
	E	340 (13.4)	429 (17)	429 (17)	510 (20)	510 (20)	560 (22)
	F	672 (26.5)	816 (32)	927 (36.5)	970 (38)	945 (37)	985 (39)
	G	942 (37)	1085 (43)	1200 (47.25)	1250 (49)	1250 (49)	1400 (55)
	H	150 (6)	150 (6)	150 (6)	150 (6)	160 (6.4)	195 (7.7)




Plastic sheeting – special double clamp



EMV400 – Caisson Beam Clamp (Adjustable)



EMV400D – 'Double' sheet pile clamp for pairs of Z-sheets

 This product complies with the EEC Machinery Directive

DEALER:

LANGUAGE:



DAWSON CONSTRUCTION PLANT LTD
Chesney Wold, Bleak Hall, Milton Keynes MK6 1NE, England.
Tel: (01908) 240300 Fax: (01908) 240222 Int Tel: +44 1908 240300 Int Fax: +44 1908 240222
E-mail address: dawson@dcpuk.com Web address: www.dcpuk.com

DCP Ltd reserve the right to discontinue equipment at any time,
or change specifications or designs without notice or incurring obligations

Appendix Exhibit (2)

F. Scobbo Contractors, Inc. & Foundation Systems

Certified N.Y.S. W.B.E.



1212 Port Washington Boulevard • Port Washington, New York 11050
(516) 944-PIER • F: (516) 944-2522
www.nynihelix.com

Site Memo / Notice.

TO: Eugene Aletto
14 Bay Ave, Sea Cliff, NY

Date: March 15th, 2021

RE: Site Visit 2021

Change in conditions and scope of work

Mr. Aletto

In anticipation for beginning the restoration work at 14 Bay Ave hopefully scheduled for some time this year, we made a site visit by boat on March 15th at high tide.

Unfortunately, we have to advise you that the site conditions have extremely deteriorated due to repeated west and west north west heavy winds and storm surge. The erosion that occurred between last October to March 2021, has placed both your property and both of your neighbors properties in peril.

Vast erosion and hydraulic scour has occurred over the last five (5) months. The current conditions of the shoreline at 14 Bay Avenue not only requires a change in the scope of work for your property, it now requires additional dredging and vast restoration and repair of the neighbors property. It is apparent that repeated washout and tidal storm damage not only increased your damage and subsequent required repair work, it now also will force your neighbors to perform restoration work on their property.

At this time, additional work will be required for the restoration scope of work on your property. Due to additional erosion that occurred, the hill and corresponding upland structures and property are in peril. This will increase the budgets already submitted for both

waterfront work and upland work. We do not have an estimated budget for the required repair of your neighbors property.

Please be advised, that if the repair is not initiated quickly, or if temporary shoreline stabilization measures are not employed soon, your existing upland structure will start to slide off of the the hill. Once this begins, you will be forced to place thousands of tons of boulders/ rip rap on the hill to stabilize it prior to starting sheeting installation. At this time, we reserve the right to not perform any sheeting installation work by dynamic means due to the potential of collapse of both your house and the potential for further damage already existing on either side of 14 Bay Ave.

The DEC delaying permits contributed heavily to the current site conditions for 14 Bay and the neighboring properties. We want to make it clear we are not responsible for any damage that occurred or may occur in the near future. The neighbors' property on either side of Bay Ave will continue to erode, requiring considerable dredging and soil replenishment upland from Hempstead Harbor. Should the DEC require the soil tested for replenishment back onto the beach, please remind them the sand came from the upland hill. It is recommended that you stabilize the shoreline immediately.

Frank T. Scobbo
Vice President
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www.Nynjhelix.com
www.Helixmarinellc.com
FScontractorsinc@aol.com or FSOFNY@AOL.COM



F. Scobbo Contractors, Inc. & Foundation Systems

Certified N.Y.S. W.B.E.

1212 Port Washington Boulevard • Port Washington, New York 11050
(516) 944-PIER • F: (516) 944-2522
www.nynjhelix.com

Site Memo / Notice.

TO: Eugene Alletto
14 Bay Ave, Sea Cliff, NY

July 14th 2021

RE: Project Overview

Mr. Alletto

Once again, in anticipation of beginning the complete restoration and construction work at 14 Bay Ave hopefully scheduled for September/ Oct of this year, we have to advise you in writing of the, yet again, continuing and worsening conditions at 14 Bay Ave, Sea Cliff NY.

Please review the Site Memo/ Notice we issued on March 15th, 2021, sighting various site conditions that continue to require immediate attention. (enclosed within email for reference)

Site Conditions

The site has deteriorated to the point where additional soil erosion has occurred placing the remaining structure on the 14 Bay Ave property in peril of collapse. The erosion has also removed soil from the property lines, removing the safety buffer of soil between your property and the neighbors to the immediate south / north of 14 Bay. This erosion will exasperate transmission of vibrations occurring during the steel bulkhead installation.

Simply put, there is less soil to absorb the vibrations that will occur during the bulkhead construction. You may be forced to switch installation of the sheeting to an augered-in sheeting wall to reduce vibrations. This is time consuming and costly. The acceptable vibration limit is outlined in the NYS Building Code, however the soil erosion is so extreme, you may not be able to place monitors in the correct locations.

July 14, 2021

Additional dredge work will be required at an additional cost as well. Unfortunately, the loss of soil over the previous four months will, yet again, require another increase in scope of work and expenses.

We are unable to estimate the required amount of soil to be imported to the site at this time. Please allow a budget accordingly for these changes.

NOTE: The erosion has continued to travel up to the existing house / structure and has exceeded the property lines. It is apparent that repeated washout and tidal storm damage not only increased your damage and subsequent required repair work, it now also will force your neighbors to perform soil restoration work on their property.

Due to the severity of the existing on-site conditions, we require all permits / and or complete permit set to be issued for the **entire project**, including new foundation / SOE/ demo, drainage, etc.

BE ADVISED:

We may have to stop the bulkhead installation and perform upland SOE and stabilization to reduce soil erosion and create a safe working environment at the shoreline. Without the ability to switch from one scope of work to another, the project will be delayed and cause damages both monetarily and physically. Without all of the permits in place, we would have to stop the job, wait for permits to be issued, then address the condition(s), and then proceed with bulkhead construction. All time consuming and costly.

We will not start any construction on the site unless **all** permits for the complete scope of work at 14 Bay Ave, (bulkhead/ shoreline, SOE, dredge, foundation, backfill, retaining walls, drainage) are issued and in place. Without all of the permits, we will NOT start any part of the work on 14 Bay Ave.

July 14, 2021

Lastly, we have made every attempt to assist you in the process of getting this project started and completed. Our availability is becoming increasingly limited as time passes and soon we will be unavailable. We anticipate our construction window for this year will close shortly, and we will be unable to start your project until Feb/March/April of 2022 (weather permitting) .

Thank you

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FScontractorsinc@aol.com or FSOFNY@AOL.COM

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: 14 Bay Avenue new residence and hillside retention		
Project Location (describe, and attach a general location map): 14 Bay Avenue Sea Cliff, NY West side of Bay Avenue		
Brief Description of Proposed Action (include purpose or need): Hillside restoration and new residence to replace damaged building and failed retaining walls		
Name of Applicant/Sponsor: James Carballal		Telephone: 516 375 1728
		E-Mail: jamescarballal@gmail.com
Address: 80 Lafayette Avenue		
City/PO: Sea Cliff ,	State: New York	Zip Code: 11579
Project Contact (if not same as sponsor; give name and title/role): Mr. Eugene Alletto		Telephone: 516 426 9654
		E-Mail: ealletto@bedgear.com
Address: 32 Bay Avenue		
City/PO: Sea Cliff	State: New York	Zip Code: 11579
Property Owner (if not same as sponsor): As above		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		October 24, 2020
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Zoning Board	August 18, 2020 Approved
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	DEC	Approved June 2021
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Zoned residence "A" _____
- b. Is the use permitted or allowed by a special or conditional use permit? Yes No
- c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

- a. In what school district is the project site located? North Shore Schools
- b. What police or other public protection forces serve the project site?
Nassau County Police department
- c. Which fire protection and emergency medical services serve the project site?
Sea Cliff Fire department, Nassau County emergency services
- d. What parks serve the project site?
Village of Sea Cliff - various local parks

D. Project Details

D.1. Proposed and Potential Development

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential
- b. a. Total acreage of the site of the proposed action? _____ half acres
b. Total acreage to be physically disturbed? _____ half acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ half acres
- c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____
- d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____
- e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: _____ months
ii. If Yes:
• Total number of phases anticipated _____ 2
• Anticipated commencement date of phase 1 (including demolition) _____ Aug. month _____ 2021 year
• Anticipated completion date of final phase _____ Nov. month _____ 2021 year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:
Phase -1 Bulkheading and hilside retention Phase 2 House construction

f. Does the project include new residential uses? Yes No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	1			
At completion of all phases	1			

g. Does the proposed action include new non-residential construction (including expansions)? Yes No

If Yes,

- i. Total number of structures _____
- ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length
- iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No

If Yes,

- i. Purpose of the impoundment: _____
- ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
- iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) Yes No

If Yes:

- i. What is the purpose of the excavation or dredging? _____
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 - Volume (specify tons or cubic yards): _____
 - Over what duration of time? _____
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)
 Standard house boiler

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
 Standard levels of noise associated with construction _____

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No

Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Standard lighting associated with residential construction and the ability to navigate around the property all lighting will be _____ projected _____ away from neighboring properties.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
- ii. Anticipated rate of disposal/processing:
 - _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 - _____ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____
- ii. Generally describe processes or activities involving hazardous wastes or constituents: _____
- iii. Specify amount to be handled or generated _____ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe:
Waterfront residential

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	.05 acres	.05 acres	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	.40 acres	.40 acres	0
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes, .
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 200 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

sandy loam	_____	100 %
_____	_____	_____ %
_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	100 % of site
<input type="checkbox"/> Moderately Well Drained:	_____	_____ % of site
<input type="checkbox"/> Poorly Drained	_____	_____ % of site

f. Approximate proportion of proposed action site with slopes:

<input type="checkbox"/> 0-10%:	_____	30 % of site
<input type="checkbox"/> 10-15%:	_____	_____ % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	70 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Hempstead Harbor Tidal Wetland Approximate Size _____
- Wetland No. (if regulated by DEC) 1-2824-03199

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No

If yes, name of impaired water body/bodies and basis for listing as impaired: _____
Hempstead Harbor - Fecal Coliform

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No

If Yes:

i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 None _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____

 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name James Carballal Date July 20, 2021

Signature  Title Architect

