



INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080

Notice of Review

11/17/20

TO:
PROPERTY OWNER: Charles & Elizabeth Weinstein
PROPERTY ADDRESS: 30 Bay Ave.
SECTION/ BLOCK/ LOT: 21/F/1967

APPLICATION NO: 12183
APPLICATION RECV'D: 11/9/2020
ZONE: Residence A

DESCRIPTION: The applicant proposes to stabilize the shoreline on their property.

§ 107-4 Review required.

[Amended 10-7-1996 by L.L. No. 1-1996; 12-10-2018 by L.L. No. 7-2018]

Site plan review, as provided herein, shall be required for the following, and the Planning Board shall approve, approve with modifications or disapprove applications, as follows:

E. Any substantial change in topography. For purposes of this section, any change in topography in excess of one foot in height or elevation, at any point or over any ten-foot linear area, shall be considered a substantial change.

F. Any construction involving an enlargement or modification to roof area or building footprint, or an addition or modification to an accessory structure, regardless of whether such structure qualifies for a building permit exemption under § 138-1205, for property abutting Hempstead Harbor.

Applicant proposes to construct a retaining walls in excess of 4 feet, requiring Planning Board review.

§ 60-10 Type I actions.

For purposes of this chapter, Type I actions are those listed in Part 617. In addition to the list of actions in Part 617, the following actions are deemed by the Village to be Type I actions (where the following list conflicts directly with Part 617 listed actions (as determined by the Agency), the following list supersedes those provisions contained in Part 617):

A. Any construction on slopes of 15% or greater (a fifteen-foot rise per 100 feet of length) or where the general slopes in the project area exceed 10%.

F. Construction, addition, replacement or significant repair of a bulkhead.

G. Construction on or the development or use of a site which may affect a unique or unusual land form found on the site, including, but not limited to, cliffs, dunes, or geological formations.

J. Proposed action which will likely cause siltation or other discharge into an existing body of water to the extent that there will be obvious visual contrast to natural conditions.

M. Construction on or the development of use of a site which may alter the drainage flow or patterns of surface water runoff.

O. Proposed action which may cause substantial erosion.

Q. Construction on or the development or use of a site which will be visible to users of an aesthetic resource and which will eliminate or significantly reduce the enjoyment of the aesthetic qualities of that resource.

T. Construction on or the development or use of a site which may result in objectionable odors, noise or vibration such that odors will occur routinely (more than one hour per day), noise will be produced which exceeds the ambient noise levels permitted for noise outside of structures or natural barriers that would act as a noise screen will be removed.

Applicant proposes to stabilize the shoreline on their property. Bulkheads are automatically a Type 1 action. All sections of Chapter 60 of the Village Code will apply including compliance with NYCRR Title 6 Part 617.


Shane Dommin

Village of Sea Cliff Building Department

Note: If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.



INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT

300 SEA CLIFF AVE, P.O. BOX 340, SEA CLIFF, NY 11579 TEL 516-671-0080 FAX 516-671-6508

BUILDING PERMIT

APPLICATION ID # 12183 APPLICATION DATE 11/17/20 PERMIT # _____

PROPERTY ADDRESS: _____ SECT: **21** BLOCK ^F _____ LOT ¹⁹⁶⁷ _____

Owner: Charles and Elizabeth Weinstein

Address: 30 Bay Avenue City: Sea Cliff State: NY Zip: 11579
Phone: 516-314-6555 Cell: 516-341-6555 Email: chazwords2@gmail.com

Applicant: (if applicant is different from owner state relationship to owner)

Address: _____ City: Brookhaven State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Architect: Engineer: Keith J. Masseria

Address: 437 South Country Road City: Brookhaven State: NY Zip: 11719
Phone: 516-636-4500 Cell: 516-375-7453 Email: kmasseria@lkma.com

Contractor:

Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Plumber:

Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Electrician:

Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Other/Mechanical:

Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

A/C, Boiler, etc Model#

A/C, Boiler, etc Model#

PROPOSED WORK: Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

See attached project description.



INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT

300 SEA CLIFF AVE. P.O. BOX 340, SEA CLIFF, NY 11579 TEL 516-671-0080 FAX 516-671-6508

BUILDING PERMIT

Cost of Improvement:

\$ Est. Cost \$100,000

Owner: *Deposes and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.*

Owner Signature:

Emberly Venturi

Owner Signature:

[Signature]

JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

Date:

11/30/2020

[Signature]

Notary:

Contractors must submit proof of current insurance (C-105.2 or U-26.3 for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit

OFFICIAL USE

FEES \$100 pd 11/30/2020

REQUIRED CERTIFICATES

Application Fee

\$ 75 pd

Permit Fees

Building

Plumbing

Electrical

Mechanical

Certificate

Other

Total Permit Fees

\$

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Approved by _____

Examined for approval on _____

New State Law Requires: Site visits by the Building Department prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the Building Department.

Village Code Requires: Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)

ZONING BOARD OF APPEALS _____
PLANNING BOARD (check one)

-----X
IN THE MATTER OF THE APPLICATION OF

Charles and Elizabeth Weinstein
Village of Sea Cliff.

APPLICATION

-----X
proposing to stabilize shoreline.

1. Name of applicant: Charles and Elizabeth Weinstein
2. Applicant's address: 30 Bay Avenue - Sea Cliff, N.Y. 11579

3. If the applicant is not an owner of the property which is the subject of this application, state the relationship of the applicant to the owner(s):

4. The property which is the subject of this application is located at: 30 Bay Avenue, Village of Sea Cliff, N. Y. and is also known as Section 21, Block E, Lot(s) 1967 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the property (if applicant is not the sole owner) is:

Charles and Elizabeth Weinstein
30 Bay Ave. - Sea Cliff, N.Y. 11579

6. The property is located in the A zoning district of the Village of Sea Cliff.

7. The subject property is located on the West side of Bay Avenue (street).

8. The date on which the owner(s) acquired the property was 1996.

9. The approximate dimensions of the property are 180 feet by 83 feet, and the total acreage of property is .37 acres acres.

10. The property is presently used for primary residence.

11. Are there existing buildings on the property? None of except residence

12. Are there any outstanding village taxes on the property?

NO If so, for what years? _____

13. The applicant or owner(s) wish to make use of the property for the purpose of: primary residence

14. The Building Department of the Village of Sea Cliff denied an application for a building permit on ~~none~~ 11-17-20

15. The proposed construction use of the property does not comply with the following sections of the Village Code: _____

107-4, 60-10

16. This is an application for:

_____ an appeal

_____ a variance

_____ a special permit

other (describe): Planning board review

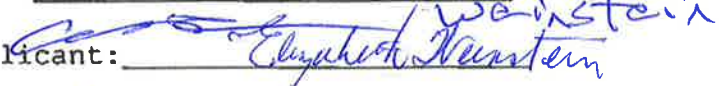
17. Description of the problem, or reasons for this application,
that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

Please see attached

18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? None If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application? no
If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.
20. Are there any outstanding violation notices affecting the subject premises? no
21. Are there any pending court proceedings involving the subject premises? no
22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

Name of applicant: Charles and Elizabeth
Signature of applicant:  Weinstein
Title of signatory: home owners
Date: 11-30-2020

AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the _____, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

Charles Weinstein
Print Name

[Signature]
Signature

Sworn to before me this 30
day of November 2020.

[Signature]
JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

AFFIDAVIT OF OWNER(S)

(To be completed only if the applicant is not the sole owner)
(All owners must sign either as owner or applicant)

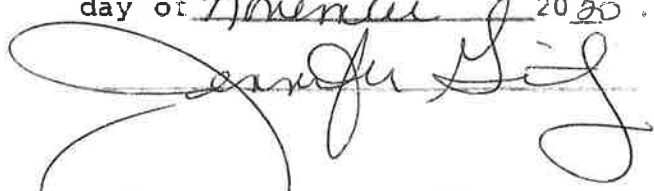
STATE OF NEW YORK) ss:

COUNTY OF NASSAU)

Charles Weinstein being duly sworn, deposes and says that (s)he is the owner of the property known as 30 Bay Ave. in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 30 day of November 2020.

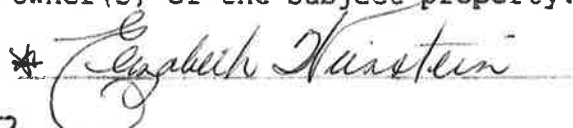


JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

STATE OF NEW YORK) ss:

COUNTY OF NASSAU)

* Elizabeth Weinstein being duly sworn, deposes and says that (s)he is the owner of the property known as * 30 Bay Ave in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 30 day of November 2020.



JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

ZONING BOARD OF APPEALS _____
PLANNING BOARD (check one)
VILLAGE OF SEA CLIFF

In the Matter of the Application of

Charles Weinstein

DISCLOSURE
AFFIDAVIT
General Municipal Law
Section 809

STATE OF NEW YORK) COUNTY OF NASSAU)

Proposing to Stabilize Shoreline

ss: *Charles Weinstein*, being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
<i>None</i>			

[Signature]
Signature

Sworn to before me this 30
day of November 2020.

[Signature]
JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023



Incorporated Village of Sea Cliff
Office of the Superintendent of Buildings
Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

Homeowner: _____

Date: 11-30-20

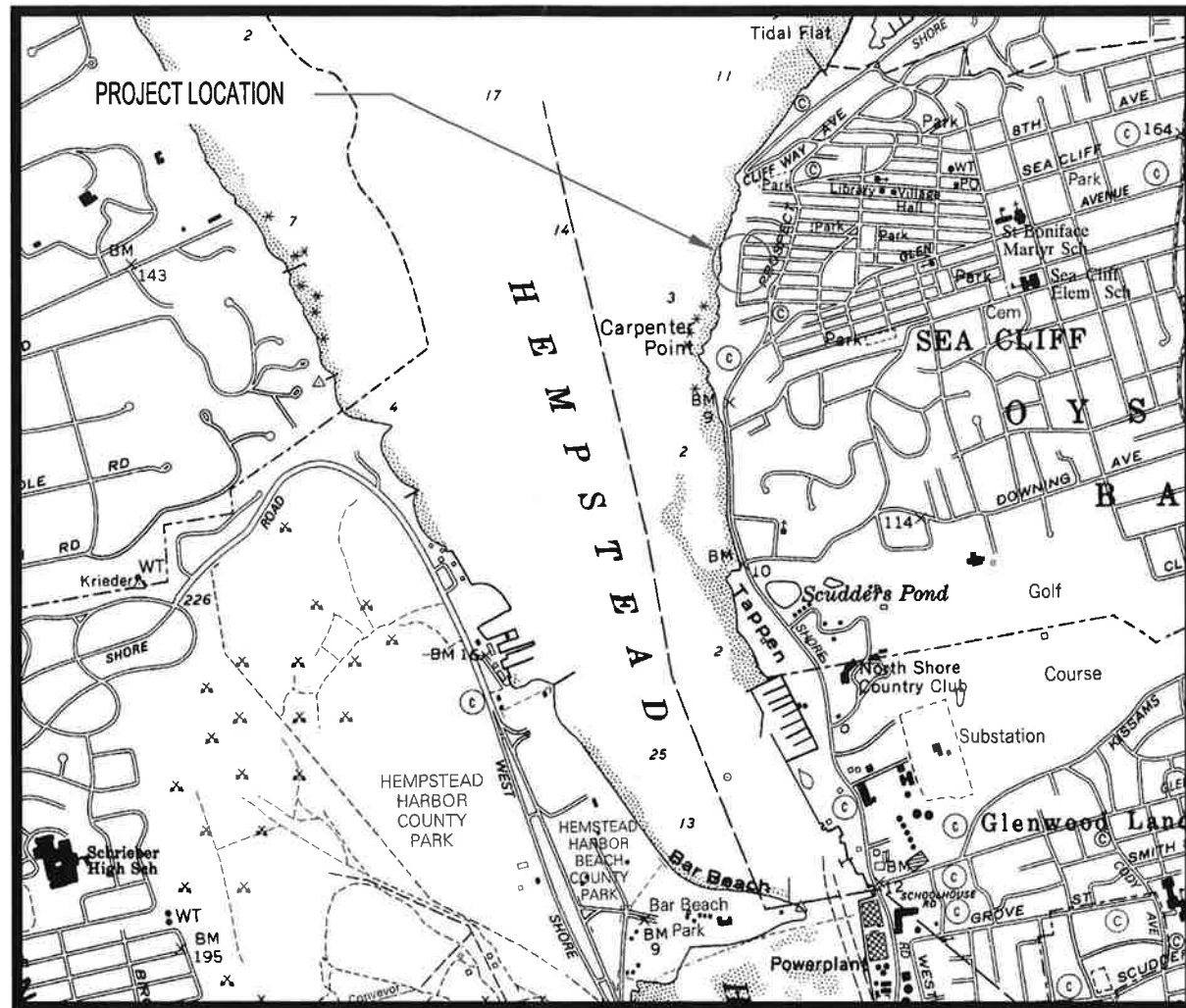
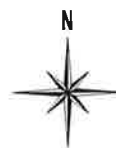
Project Description

This project entails the removal and disposal of the existing concrete and timber retaining walls and the installation of a stone revetment at 30 Bay Avenue. The site is located in the Incorporated Village of Sea Cliff, Town of Oyster Bay.

It is proposed to remove the existing concrete and timber retaining walls and construct an approximately 62.5 feet long and 20.70 feet wide stone revetment. The revetment will consist of 1-ft - thick layer of W50= 20 lb bedding stone (approximately 79± CY) and 2 layers of 2.5 Tons of heavy armor stone (approximately 242± CY) up to elevation 17.0'± (NAVD88). The existing bedding stone will be underlain with geotextile filter fabric.

Existing soil, which must be excavated in order to install the stone, will be removed and legally disposed of off-site at a NYSDEC approved upland disposal area.

THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NY



LOCATION MAP
1000 0 1000 2000
SCALE 1" = 1000 FT

INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	GENERAL PLAN
4	MISCELLANEOUS DETAILS

PREPARED AND
RECOMMENDED BY:

DATE: _____

RAYMOND DIBIASE, P.E., - NYSPE Lic. No. 56985
LKMA L. K. McLEAN ASSOCIATES, P.C.
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NY 11719

PRELIMINARY PLANS FOR SHORELINE STABILIZATION AT #30 BAY AVENUE ON HEMPSTEAD HARBOR

SEA CLIFF, NY
NOVEMBER 2020

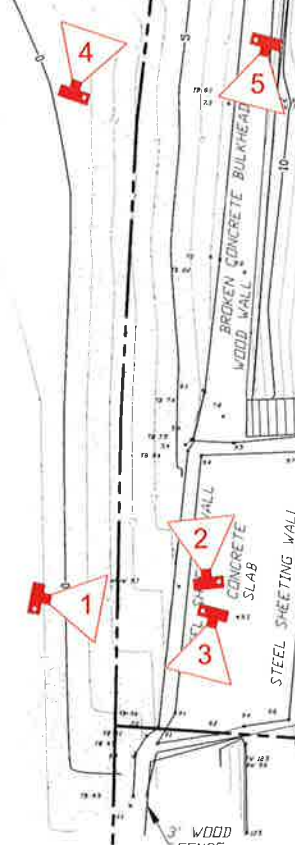
ALL WORK CONTEMPLATED UNDER THIS CONTRACT
IS TO BE COVERED BY AND IN CONFORMITY WITH
THE 2008 NYSDOT STANDARD SPECIFICATIONS (U.S.
CUSTOMARY UNITS), EXCEPT AS MODIFIED ON
THESE PLANS AND IN THE ITEMIZED PROPOSAL.

HEMPSTEAD HARBOR

OWNER: SEBASTIAN LI
 ADDRESS: 26 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1747

OWNER: CHARLIE WEINSTEIN &
 ELIZABETH WEINSTEIN
 ADDRESS: 30 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1967

OWNER: UNKNOWN
 ADDRESS: 32 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1966



SITE PLAN
 SCALE 1"=10'



BAY AVENUE

LEGEND:



NCTM# 21-F-1967
 SECTION-BLOCK-LOT

--- EXISTING PROPERTY LINES



PHOTO NO. 1



PHOTO NO. 2



PHOTO NO. 3



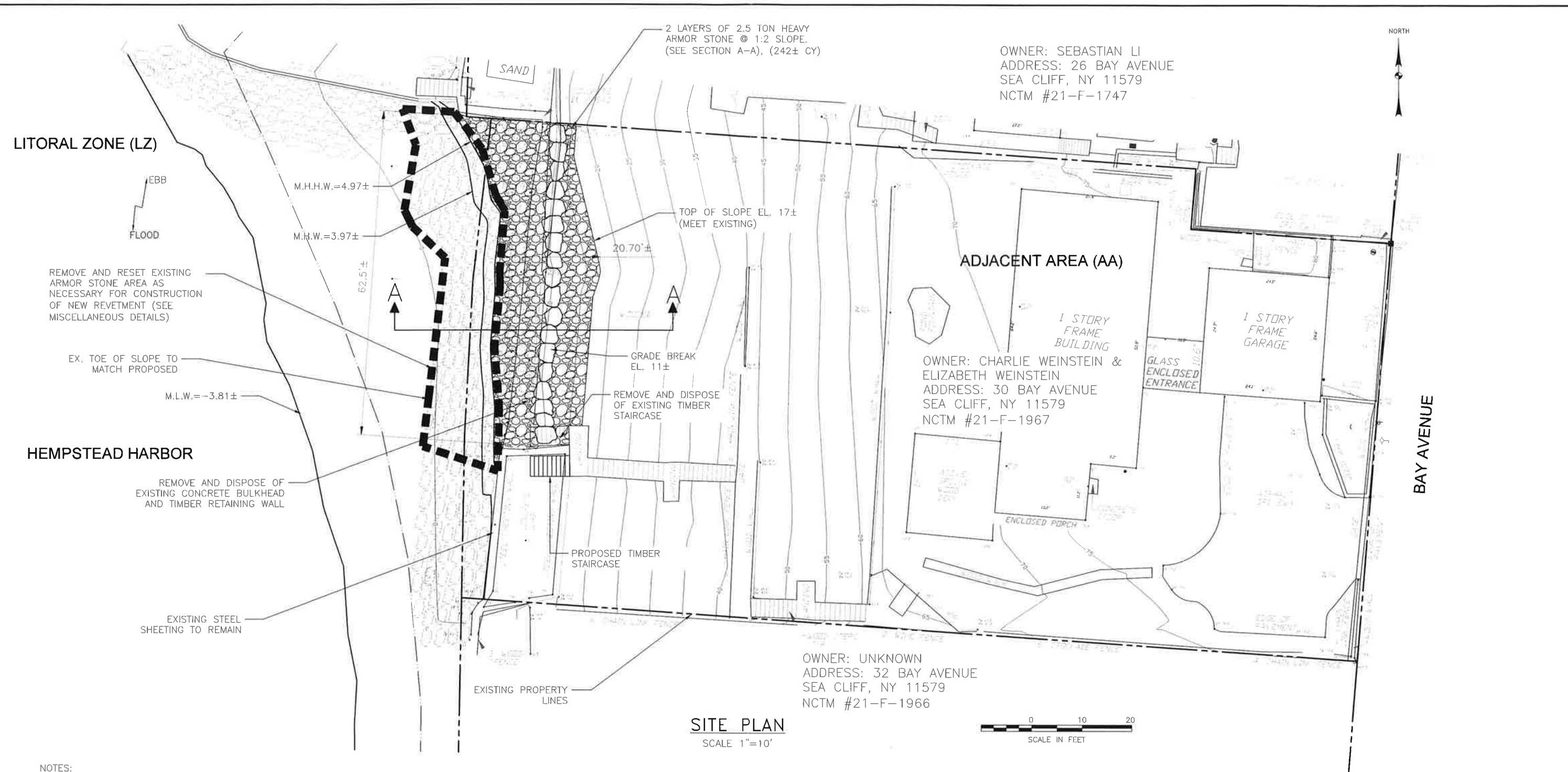
PHOTO NO. 4



PHOTO NO. 5

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 30 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
EXISTING CONDITIONS			
L. K. McLEAN ASSOCIATES, P.C.			
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719			
Designed By:	KJM	Scale: AS SHOWN	Sheet No.
Drawn By:	DCR	Date: NOVEMBER 2020	2 OF 4
Approved By:	RAS	File No. 20079.000	





File: 05-2020-01-02-19
 N:\2020\20-000_000_Bay Avenue Sea Cliff\2020\01-02-19\Drawings\20-000.dwg



NOTES:

1. CONTRACTOR SHALL READ AND FOLLOW ALL PERMIT CONDITIONS AND SPECIAL CONDITIONS CONTAINED IN THE NYSDEC PERMIT TO ENSURE COMPLIANCE DURING THE TERM OF THE PERMIT.
2. HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
3. THE VERTICAL DATUM IS NAVD88.
4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREA IN KIND.
5. CONTRACTOR SHALL NOTIFY NEIGHBORS TO THE NORTH AND SOUTH SIDE OF RIGHT OF WAY OF THE PROPOSED CONSTRUCTION START TIME.
6. CONTRACTORS SHALL REMOVE ALL DEBRIS, UNSUITABLE FILL MATERIALS, DEBRIS IN WATER AND DISPOSE OFF SITE AT A NYSDEC APPROVED UPLAND DISPOSAL AREA. CONTRACTOR SHALL ALSO CLEAR AND GRUB EXISTING VEGETATION.
7. FILL SHALL BE FROM ON-SITE OR LOCAL SOURCES.
8. CONTRACTOR SHALL ACCESS THE SITE VIA BARGE FROM HEMPSTEAD HARBOR.

LEGEND

-  PROPOSED 2.5 TON HEAVY ARMOR STONE (SEE SECTION A-A)
-  PROPOSED HEAVY ARMOR LAID FLAT FOR WALKING SURFACE
-  EXISTING PROPERTY LINES
-  REMOVE AND RESET EXISTING STONE WITHIN BOUNDARY AS NECESSARY FOR CONSTRUCTION OF NEW REVETMENT

NCTM# 21-F-1967
SECTION-BLOCK-LOT

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 30 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
GENERAL PLAN			
L. K. McLEAN ASSOCIATES, P.C. CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719			
Designed By:	KJM	Scale: AS SHOWN	Sheet No.
Drawn By:	DCR	Date: NOVEMBER 2020	3 OF 4
Approved By:	RAS	File No. 20079.000	

This drawing is the property of L. K. McLean Associates, P.C. and is not to be used for any other project without the written consent of L. K. McLean Associates, P.C.

30
29
28
27
26
25
24
23
22
21
20
19
18
17
16
15
14
13
12
11
10
9
8
7
6
5
4
3
2
1
0
-1
-2
-3
-4
-5
-6
-7
-8
-9
-10
-11
-12

HEMPSTEAD HARBOR

FEMA EL. 17.00±

2 LAYERS OF 2.5 TON HEAVY ARMOR STONE, (242± CY)(TYP.)

TOP OF SLOPE EL. 17.00±

20.70'±

6.0'±

MEET EX. EL. 17.00±

PROPOSED 1' THICK LAYER BEDDING STONE, W50=20 LBS (79± CY)

PROPOSED GEOTEXTILE FILTER FABRIC

TOP OF EX. TIMBER WALL EL. 8.80±
TOP OF EX. CONCRETE WALL EL. 8.00±

TOP OF EX. STONE REVETMENT EL. 7.60±

10 YEAR STILLWATER EL. 6.40±

M.H.H.W. EL. 4.97±

M.H.W. EL. 3.97±

EX. TOE OF SLOPE EL. 0.20± TO REMAIN

EXISTING GROUND

M.L.W. EL. -3.81±

REMOVE AND RESET EXISTING ARMOR STONE AREA AS NECESSARY FOR CONSTRUCTION OF NEW REVETMENT. CONTRACTOR SHALL NOT EXCAVATE BELOW EX. GROUND SURFACE FOR ANY REASON (SEE NOTE 3)

REMOVE AND DISPOSE OF EXISTING RETAINING WALL

4.90'±


REMOVE AND DISPOSE OF EXISTING CONCRETE AND TIMBER RETAINING WALL. VOID SHALL BE FILLED WITH ARMOR STONE AND BEDDING STONE AS SHOWN.

NOTES:

- HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
- THE VERTICAL DATUM IS REFERENCED TO NAVD88.
- STONES WITHIN THE FOOTPRINT OF THE EXISTING REVETMENT THAT DO NOT MEET THE PROPOSED SIZE REQUIREMENTS, SHALL BE PLACED ON THE INTERIOR LAYER OF THE NEW REVETMENT A.O.B.E.
- CONTRACTOR SHALL CLEAR EXISTING BRUSH, UNSUITABLE SOILS AND TREES WITHIN FOOTPRINT OF PROPOSED REVETMENT.
- CONTRACTOR SHALL READ AND FOLLOW ALL PERMIT CONDITIONS AND SPECIAL CONDITIONS CONTAINED IN THE NYSDEC PERMIT TO ENSURE COMPLIANCE DURING THE TERM OF THE PERMIT.
- ALL THE EXCAVATED MATERIAL AND DEBRIS SHALL BE LEGALLY DISPOSE OF OFF SITE AT A NYSDEC APPROVED UPLAND DISPOSAL AREA.

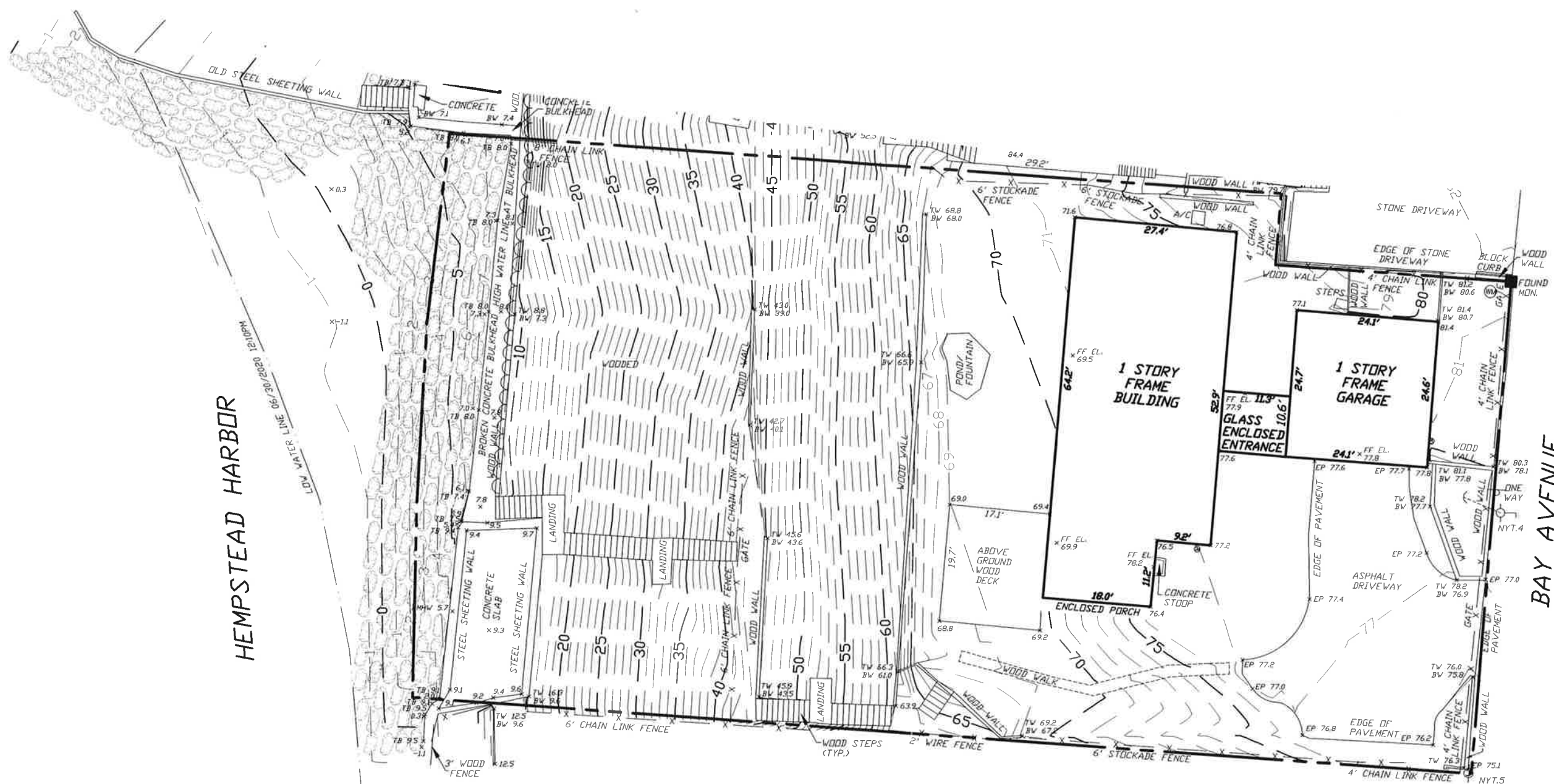
SECTION A-A

SCALE 1"=3'

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
 THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 30 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
MISCELLANEOUS DETAILS			
L. K. McLEAN ASSOCIATES, P.C. <small>CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719</small>			
Designed By:	KJM	Scale:	AS SHOWN
Drawn By:	DCR	Date:	NOVEMBER 2020
Approved By:	RAS	File No.:	20079.000
			Sheet No. 4 OF 4

Nov 05, 2020 - 07:52am
 P:\20079\000\430 Bay Avenue Sea Cliff\Civil DWG\Contract Drawings\Miscellaneous Details #30.dwg

LEGEND	
TB	TOP BULKHEAD
GF	GARAGE FLOOR
FF	FIRST FLOOR
JC	TOP CURB
EP	EDGE OF PAVEMENT
BW	BOTTOM WALL
TW	TOP WALL
O	POST
x 25.00	SPOT ELEVATION
A/C	AIR CONDITIONER
⊙	RIP RAP
⊕	UTILITY POLE WITH LIGHT
—	GUY WIRE
⊖	ELECTRIC METER
⊖	GAS METER
AMHW	APPROX. MEAN HIGH WATER
⊙	SIGN
⊖	WATER METER
■	FOUND MONUMENT
○	UTILITY POLE



- NOTES**
- MEASUREMENTS ARE IN ACCORDANCE WITH U.S. STANDARDS.
 - ELEVATIONS REFERENCE NAVD 1988.
 - UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 - ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S "EMBOSSSED" OR "INKED" SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
 - CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - RIGHTS-OF-WAY NOT SHOWN ARE NOT CERTIFIED.

NASSAU COUNTY REAL PROPERTY TAX MAP
 SECTION 21
 BLOCK F
 LOT 1967

I hereby certify that this map was made from an actual survey completed by me on 07/01/2020.

TAMARA L. STILLMAN, P.L.S.
 NYSPLS No. 50528

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
Town of Oyster Bay Nassau County, New York			
30 Bay Avenue, Sea Cliff			
Topographic Survey			
L. K. McLEAN ASSOCIATES, P.C. CONSULTING ENGINEERS & LAND SURVEYORS 437 SO. COUNTRY ROAD, BROOKHAVEN, NEW YORK			
Surveyed By	P.L./D.M.	Scale:	1" = 20'
Drawn By	D.M.	Date:	07/07/2020
Approved By	T.L.S.	File No.	20079.000
			Sheet No. 1 1

SHORELINE STABILIZATION AT #30 BAY AVENUE
ON HEMPSTEAD HARBOR, SEA CLIFF NEW YORK



PHOTO 1
(SEE EXISTING CONDITIONS PLAN)



PHOTO 2
(SEE EXISTING CONDITIONS PLAN)

SHORELINE STABILIZATION AT #30 BAY AVE.
EXISTING CONDITIONS PHOTOS FEBRUARY 2020

SEA CLIFF N.Y.



PHOTO 3
(SEE EXISTING CONDITIONS PLAN)



PHOTO 4
(SEE EXISTING CONDITIONS PLAN)

SHORELINE STABILIZATION AT #30 BAY AVE.
EXISTING CONDITIONS PHOTOS FEBRUARY 2020

SEA CLIFF N.Y.



PHOTO 5
(SEE EXISTING CONDITIONS PLAN)

SHORELINE STABILIZATION AT #30 BAY AVE.
EXISTING CONDITIONS PHOTOS FEBRUARY 2020

SEA CLIFF N.Y.

James Guardino
Or Current Owner
42 Bay Ave
Sea Cliff NY 11579

Gary & Rhoda Goldin
Or Current Owner
40 Bay Ave
Sea Cliff NY 11579

32 Bay Ave LLC
Or Current Owner
32 Bay Ave
Sea Cliff NY 11579

John & Constance Canning
Or Current Owner
108 18th Ave
Sea Cliff NY 11579

Dianne Fanger
Or Current Owner
65 20th Ave
Sea Cliff NY 11579

Esther Gasser
Or Current Owner
224 Prospect Ave
Sea Cliff NY 11579

Christopher Nielsen
Or Current Owner
105 18th Ave
Sea Cliff NY 11579

MaryAnn Kraker
Or Current Owner
35 Bay Ave
Sea Cliff NY 11579

Louis & Esther Gasser
Or Current Owner
39 Bay Ave
Sea Cliff NY 11579

14 Bay Ave Commons, LLC
c/o Eugene Alletto
200 Sea Lane
Farmingdale NY 11735

Paul Anderson
Or Current Owner
1 Bay Ave
Sea Cliff NY 11579

Melisa Geller
Or Current Owner
16 Sheridan Lane
Sea Cliff NY 11579

Natasha Karmiloff
Or Current Owner
139 17th Ave
Sea Cliff NY 11579

Gregg & Alison Lerman
Or Current Owner
173 16th Ave
Sea Cliff NY 11579

Dennis Buckley
Or Current Owner
25 Bay Ave
Sea Cliff NY 11579

Thomas Pitegoff
Or Current Owner
24 Bay Ave
Sea Cliff NY 11579

Christopher Doran
Or Current Owner
6 Bay Ave
Sea Cliff NY 11579

Donald Kavanaugh
Or Current Owner
142 17th Ave
Sea Cliff NY 11579

DONALD & LAURA KAVANAGH
142 17TH AVENUE
SEA CLIFF, NEW YORK 11579
516 484-0254

December 9, 2020

Chairman Bruce Trieber
& Members of the Planning Board
Incorporated Village of Sea Cliff
300 Sea Cliff Avenue
Sea Cliff, New York 11579

Re: Applicants: Sebastian Le, 26 Bay Avenue
William Becker, 38 Bay Avenue
Charles & Elizabeth Weinstein, 30 Bay Avenue

Dear Chairman Trieber and Members of the Board:

We reside on 17th Avenue, a few houses away from the applicants.

We are familiar with the shoreline along these properties and the condition of the present bulkheads. We believe that these applications for bulkhead extension and shoreline stabilization work will help stabilize the bluff and will be beneficial not only to these properties but to the adjoining properties and the neighborhood as well.

We respectfully request that the Planning Board approve these applications.

Very truly yours,



Donald Kavanagh



Laura Kavanagh

December 13, 2020

Planning Board
Village of Sea Cliff, NY

Re: Shoreline Stabilization Meeting on 12/17 – Applications of 26, 30 and 38 Bay Avenue

I am a member of 32 BAY AVENUE, LLC which owns 32 Bay Avenue. I am writing to you on regarding the shoreline stabilization applications of my neighbors and their adjacent properties.

32 Bay Ave. is experiencing significant erosion and land shift, from the toe of the hill at seaside and along the 18th Ave. paper street to Bay Avenue. Over the last three years since I purchased the property, I have observed that there has been a significant amount of water rushing along my property line from the top of Bay Avenue and 18th Street, which has undermined the retaining walls as well as created significant rot of the wooden portion as well. This is due to an inadequate storm drain which catches and pools the majority of the water at the top of the hill, as well as that storm drain being broken in multiple places, due to the erosion on this vacant property that the Village owns. The reason I bring this to your attention is that it has been well documented by engineers and we have notified the Trustees and the Mayor as well that, due to this, we are on unstable ground.

Significant washout under the retaining walls has also occurred from the shoreline, due to the fact that there is no bulkhead on the vacant Village land. It is clearly visible that the cliff has been washed away as the water is able to come upland and around my own bulkhead. These two factors have led to severe ground depression, settling and land shift. We have had our septic system disrupted by this movement, causing our pipes to disconnect underground. I'm getting cracks in the foundation of my home and there's several feet of sloped depression in my yard. As a necessary protective measure, it has been requested for temporary bracing along the 18th Ave. former stairs before any construction is done anywhere remotely close to this unstable property. I have already absorbed the cost of design and engineering for this bracing and submitted plans for this bracing, with the intent to pay for same.

The engineer has also informed the Village that any construction prior to this temporary bracing has the potential for a catastrophic failure -- I am enclosing a copy of the Engineer's letter that has been sent most recently to the Village regarding this issue. I am also including the invoice for the new pipe that we just put in the ground to repair the home to septic break due to the shifting of the landmass. This will be the second time we've done this in only two years while we continue to request the Village to take our concern seriously.

I'm also sending a copy of this letter to the Engineer that was hired for the shoreline stabilization of the three properties on Bay, so that they are made aware of the significant issue with the adjacent properties. Based off of the situation at 14 Bay Ave., with poor engineering then left for many years to further erode and decline, creating an increasingly unstable cliffside and difficult renovation, I am sure we all want to avoid this type of catastrophe again.

While I am encouraged that others are taking action to harden their shorelines and illuminate a significant event on Bay Avenue and I do support the applications of my neighbors, it is critical to realize that this work can only safely proceed if a bulkhead is equally applied to the Village property to create a cohesive plan, along with bracing to my retaining walls. Anything other than this risks complete collapse of my home as result of any further movement.

We request the board review the documentation attached to this letter. We would also ask you to make sure to provide the following items to us:

- 1 – What has been filed with the DEC in sufficient time to have our engineers review, ensuring it is not going to create an issue with our current Dec plans and engineering.
- 2 – Construction plans, methods and work plan addressing details of site preparation, staging and barge location. Due to the significant risk and current erosion, we are looking to ensure that the property line is separated and not combined.
- 3 – A new survey and control lines with markers that are clearly visible. In addition, there must be monitoring to ensure that all final work is located properly and in coordination with the latest boundary demarcation codes.

Finally, we must have site seismic monitoring detail, as well as disclosure of the company that will be performing this work. Our engineers are very concerned with any construction due to the instability of the cliff and the continuous amount of erosion.

It was made very clear to us that having a consistent shoreline in both height and construction methods will provide us the best outcome for the entire cliff and since the properties are all linked together, there must be a hardening of ALL the property lines, so they are NOT the weak link.

Thank you,

Shana Rocheleau
Member
32 BAY AVENUE, LLC

Cc: Keith J. Masseria, P.E.
L. K. McLean Associates, P.C.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 1

SUNY @ Stony Brook, 50 Circle Road, Stony Brook, NY 11790

P: (631) 444-0365 | F: (631) 444-0360

www.dec.ny.gov

February 25, 2021

Charles Weinstein
30 Bay Ave
Sea Cliff, NY 11579

Re: Permit No. 1-2824-02313/00004

Dear Permittee:

In conformance with the requirements of the State Uniform Procedures Act (Article 70, ECL) and its implementing regulations (6NYCRR, Part 621) we are enclosing your permit for the referenced activity. Please carefully read all permit conditions and special permit conditions contained in the permit to ensure compliance during the term of the permit. If you are unable to comply with any conditions please contact us at the above address.

Also enclosed is a permit sign which is to be conspicuously posted at the project site and protected from the weather and a Notice of Commencement/Completion of Construction.

Sincerely,



Thomas Kohlmann
Environmental Analyst



PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
CHARLES WEINSTEIN
30 BAY AVE
SEA CLIFF, NY 11579

Facility:
WEINSTEIN PROPERTY
30 BAY AVE|21-F-1967
SEA CLIFF, NY 11579

Facility Application Contact:
KEITH MASSERIA
437 S COUNTRY RD
BROOKHAVEN, NY 11719

Facility Location: in OYSTER BAY in NASSAU COUNTY **Village:** Sea Cliff
Facility Principal Reference Point: NYTM-E: 613.568 NYTM-N: 4522.678
Latitude: 40°50'50.2" Longitude: 73°39'09.9"

Project Location: 30 Bay Ave, Sea Cliff, NY **Watercourse:** Hempstead Harbor
Authorized Activity: Remove and dispose of existing concrete walkway, timber retaining wall, and timber staircase. Reset existing armor stone. Construct approximately 62' long and 20' wide stone revetment landward of mean high water. All work shall be done in strict conformance with the attached plans stamped "NYSDEC Approved" on 2/25/2021. (TSK)

Permit Authorizations

Tidal Wetlands - Under Article 25
Permit ID 1-2824-02313/00004

New Permit Effective Date: 2/25/2021 Expiration Date: 2/24/2026

Excavation & Fill in Navigable Waters - Under Article 15, Title 5
Permit ID 1-2824-02313/00005

New Permit Effective Date: 2/25/2021 Expiration Date: 2/24/2026

Water Quality Certification - Under Section 401 - Clean Water Act
Permit ID 1-2824-02313/00006

New Permit Effective Date: 2/25/2021 Expiration Date: 2/24/2026



NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: SHERRI L AICHER, Deputy Permit Administrator
Address: NYSDEC Region 1 Headquarters
SUNY @ Stony Brook|50 Circle Rd
Stony Brook, NY 11790 -3409

Authorized Signature: *Sherril L. Aicher*

Date 2 / 25 / 2021

Distribution List

KEITH MASSERIA
Bureau of Marine Habitat Protection
THOMAS S KOHLMANN

Permit Components

- NATURAL RESOURCE PERMIT CONDITIONS
- WATER QUALITY CERTIFICATION SPECIFIC CONDITION
- GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS
- NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: TIDAL WETLANDS; EXCAVATION & FILL IN NAVIGABLE WATERS; WATER QUALITY CERTIFICATION

- 1. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by LK McLean, last revised 2/19/2021.
- 2. Notice of Commencement** At least 48 hours prior to commencement of the project, the permittee and contractor shall sign and return the top portion of the enclosed notification form certifying that they are fully aware of and understand all terms and conditions of this permit. Within 30 days of completion of project, the bottom portion of the form must also be signed and returned, along with photographs of the completed work.

3. Post Permit Sign The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

4. No Construction Debris in Wetland or Adjacent Area Any debris or excess material from construction of this project shall be completely removed from the adjacent area (upland) and removed to an approved upland area for disposal. No debris is permitted in wetlands and/or protected buffer areas.

5. Materials Disposed at Upland Site Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of in an authorized solid waste management facility. These materials shall be suitably stabilized as not to re-enter any water body, wetland or wetland adjacent area.

6. No Disturbance to Vegetated Tidal Wetlands There shall be no disturbance to vegetated tidal wetlands or protected buffer areas as a result of the permitted activities.

7. Storage of Equipment, Materials The storage of construction equipment and materials shall be confined to the upland area landward of the bulkhead or on a barge.

8. Authorized Rock Revetment The authorized rock revetment shall consist of natural capstone and shall be underlain with filter cloth and installed in the approved area as per the NYSDEC stamped approved plan.

9. No Seaward Extension of Rock Revetment The new rock revetment shall be constructed in place of the existing rock revetment with no seaward extension of the seaward edge.

10. Clean Fill Only All fill shall consist of clean sand, gravel, or soil (not asphalt, slag, flyash, broken concrete or demolition debris).

11. Clean Upland Fill and Grain Size Fill must be clean upland sand of equivalent or slightly larger grain size and similar in color as is indigenous to the beach.

12. No Beach Excavation For Fill No excavation of the beach is authorized for the purpose of obtaining fill or stone materials.

13. Backfilling All peripheral berms, cofferdams, rock revetments, seawalls, gabions, bulkheads or other approved shoreline stabilization structures shall be completed prior to placement of any fill material behind such structures.

14. Grade and Stabilize Slope of Tidal Wetland The existing bank shall be graded and shaped to receive the revetment or other shoreline stabilization structure so that the final toe of slope extends no further seaward or closer to the tidal wetlands than the existing toe of slope.

15. Excavation for Bulkhead/Structure Prior to any construction or removal of bulkheads and other shoreline stabilization structures all backfill shall be excavated landward of the structure and retained so as not to enter the waterway, tidal wetland or protected buffer area.

16. No Runoff Over or Through Bulkhead or into Wetland There shall be no discharge of runoff or other effluent over or through any bulkhead or shoreline stabilization structure or into any tidal wetland or protected buffer area.



17. Use of Treated Wood The use of wood treated with Pentachlorophenol or other wood treatment not specifically approved by the Department for use in wetlands and/or marine waters, is strictly prohibited in the construction of structures that will be in contact with tidal waters.

18. Repairs to Structures All repairs to existing structures shall be confined to replacement of existing elements with no change in design, dimension or materials, unless specifically authorized by this permit.

19. No Dredging or Excavation No dredging, excavating or other alteration of shoreline or underwater areas is authorized by this permit, nor shall issuance of this permit be construed to suggest that the Department will issue a permit for such activities in the future.

20. Area of Disturbance for Structures Disturbance to the natural vegetation or topography greater than 25 feet seaward of the approved structure is prohibited.

21. Disposal Locations All excavated material shall be appropriately disposed of as per the project plan with minimal disturbance and/or impact to vegetated marsh areas. Disposal of excess material beyond the approved project site will require further written approval from the Department (permit, modification, amendment).

22. Activities Consistent with Approved Plans All activities and marsh alterations must be consistent with the approved plan. Activities or alterations beyond the scope of the approved project and/or not explicitly authorized by the permit will require further written approval of the Regional Habitat - TW office prior to commencement.

23. Incidental Disturbance to Vegetation It is the responsibility of the applicant to remedy any incidental disturbances resulting in damage or removal of wetland vegetation. Upon completion of construction activities, any disturbed areas shall be planted with the appropriate marsh vegetation. Please contact the Bureau of Marine Habitat at (631)444-0295 for more information.

24. Contain Exposed, Stockpiled Soils All disturbed areas where soil will be temporarily exposed or stockpiled for longer than 48 hours shall be contained by a continuous line of staked haybales / silt curtains (or other NYSDEC approved devices) placed on the seaward side between the fill and the wetland or protected buffer area. Tarps are authorized to supplement these approved methods.

25. Maintain Erosion Controls All erosion control devices shall be maintained in good and functional condition until the project has been completed and the area has been stabilized.

26. No Interference With Navigation There shall be no unreasonable interference with navigation by the work herein authorized.

27. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.



28. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

29. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

30. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

WATER QUALITY CERTIFICATION SPECIFIC CONDITIONS

1. Water Quality Certification The authorized project, as conditioned pursuant to the Certificate, complies with Section 301, 302, 303, 306, and 307 of the Federal Water Pollution Control Act, as amended and as implemented by the limitations, standards, and criteria of state statutory and regulatory requirements set forth in 6 NYCRR Section 608.9(a). The authorized project, as conditioned, will also comply with applicable New York State water quality standards, including but not limited to effluent limitations, best usages and thermal discharge criteria, as applicable, as set forth in 6 NYCRR Parts 701, 702, 703, and 704.



GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. Facility Inspection by The Department The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 1 Headquarters
SUNY @ Stony Brook|50 Circle Rd
Stony Brook, NY11790 -3409

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Excavation & Fill in Navigable Waters, Tidal Wetlands, Water Quality Certification.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;

- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

NOTICE OF COMMENCEMENT OF CONSTRUCTION

RETURN THIS FORM TO: COMPLIANCE

Marine Habitat Protection
NYSDEC
50 Circle Road SUNY@ Stony Brook
Stony Brook, NY 11790-3409

OR FAX TO: 631-444-0272

E-Mail: dec.sm.R1MHP_BEH@dec.ny.gov



PERMIT NUMBER: _____ EXPIRATION DATE: _____

PERMITTEE NAME & PROJECT ADDRESS: _____

CONTRACTOR NAME & ADDRESS: _____

TELEPHONE: _____

Dear Sir:

Pursuant to **special conditions** of the referenced permit, you are hereby notified that the authorized activity shall commence on _____. We certify that we have read the referenced permit and approved plans and fully understand the authorized project and all permit conditions. We have inspected the project site and can complete the project as described in the permit and as depicted on the approved plans. We can do so in full compliance with all plan notes and permit conditions. The permit, permit sign, and approved plans will be available at the site for inspection in accordance with general Condition No. 1. **(Both signatures required)**

PERMITEE: _____ DATE _____

CONTRACTOR: _____ DATE _____

THIS NOTICE MUST BE SENT TO THE ABOVE ADDRESS AT LEAST TWO DAYS PRIOR TO COMMENCEMENT OF THE PROJECT AND /OR ANY ASSOCIATED REGULATED ACTIVITIES. FAILURE TO RETURN THIS NOTICE, POST THE PERMIT SIGN, OR HAVE THE PERMIT AND APPROVED PLANS AVAILABLE AT THE WORK SITE FOR THE DURATION OF THE PROJECT MAY SUBJECT THE PERMITEE AND/OR CONTRACTOR TO APPLICABLE SANCTIONS AND PENALTIES FOR NON-COMPLIANCE WITH PERMIT CONDITIONS.

Cut along this line X X X X X X X X

NOTICE OF COMPLETION OF CONSTRUCTION

RETURN THIS FORM TO: COMPLIANCE

Marine Habitat Protection
NYSDEC
50 Circle Road SUNY@ Stony Brook
Stony Brook, NY 11790-3409

OR FAX TO: 631-444-0272

E-Mail: dec.sm.R1MHP_BEH@dec.ny.gov



PERMIT NUMBER: _____ EXPIRATION DATE: _____

PERMITTEE NAME & PROJECT ADDRESS: _____

CONTRACTOR NAME & ADDRESS: _____

TELEPHONE: _____

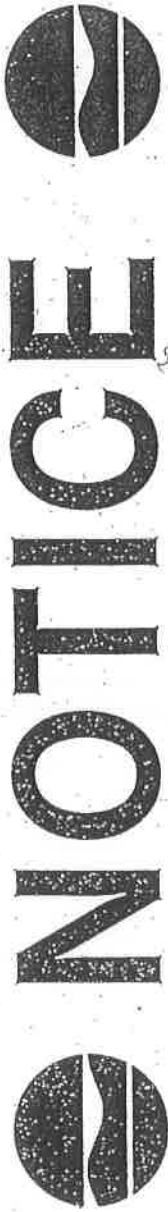
Pursuant to **special conditions** of the referenced permit, you are hereby notified that the authorized activity was completed on _____. We have fully complied with the terms and conditions of the permit and approved plans. **(Both signatures required)**

PERMITEE: _____ DATE: _____

CONTRACTOR: _____ DATE: _____

THIS NOTICE, WITH PHOTOGRAPHS OF THE COMPLETED WORK AND/OR A COMPLETED SURVEY, AS APPROPRIATE, MUST BE SENT TO THE ABOVE ADDRESS WITHIN 30 DAYS OF COMPLETION OF THE PROJECT.

New York State
Department of Environmental Conservation



The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Departmental conditions on it, contact the Regional Permit Administrator listed below. Please refer to the permit number shown when contacting the DEC.

Regional Permit Administrator

Permit Number

1-2824-p2313/0004

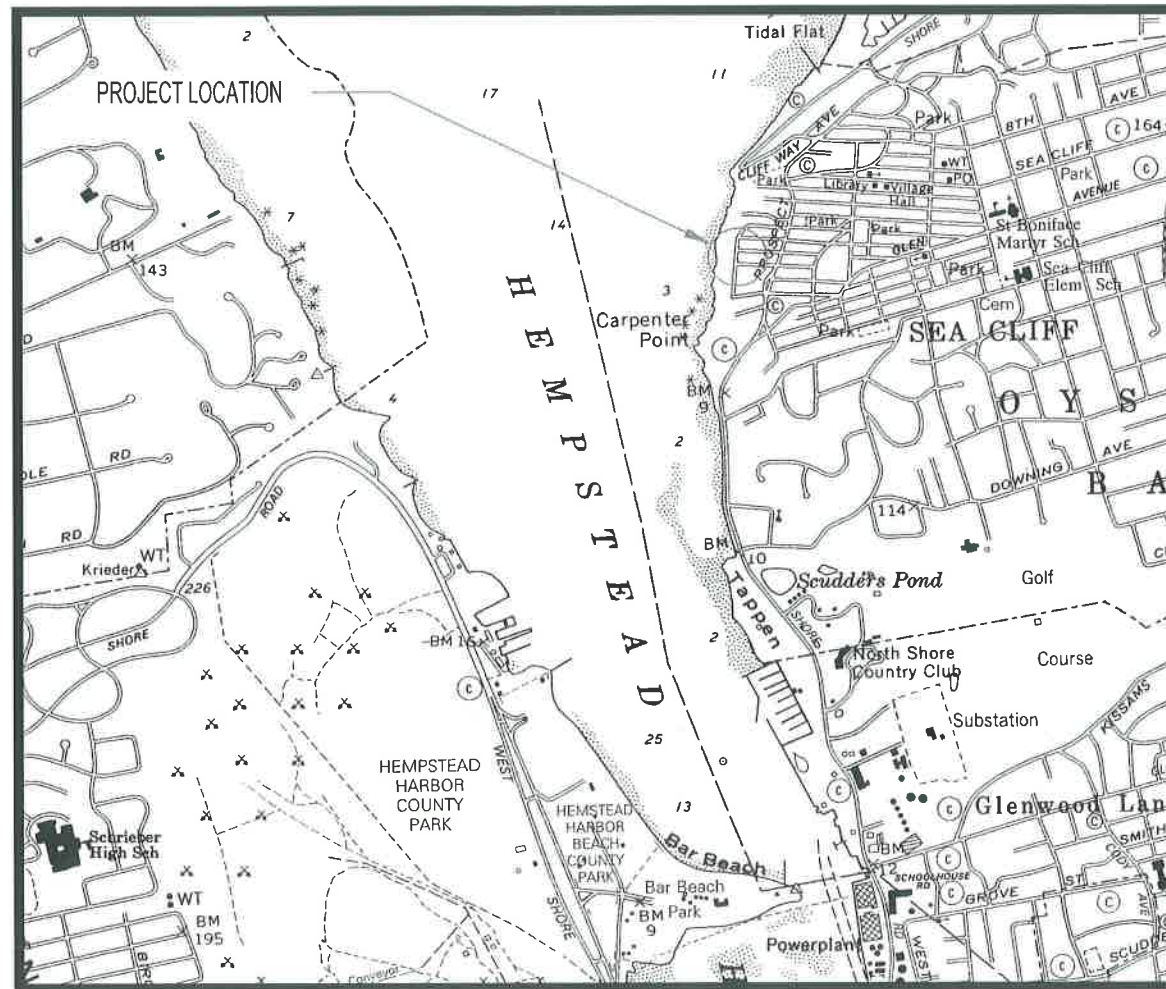
SUSAN ACKERMAN

Expiration Date

2/24/2026

NOTE: This notice is NOT a permit

THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NY



LOCATION MAP
1000 0 1000 2000
SCALE 1" = 1000 FT

INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	GENERAL PLAN
4	MISCELLANEOUS DETAILS

NYSDEC
APPROVED AS PER TERMS
AND CONDITIONS OF
PERMIT NO 1-2824-02313/00004
DATE 2/25/2021 JSK 1 of 4

PREPARED AND
RECOMMENDED BY:

DATE: _____

RAYMOND DIBIASE, P.E., - NYSPE Lic. No. 56985

LKMA L. K. McLEAN ASSOCIATES, P.C.
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NY 11719

PRELIMINARY PLANS FOR SHORELINE STABILIZATION AT #30 BAY AVENUE ON HEMPSTEAD HARBOR

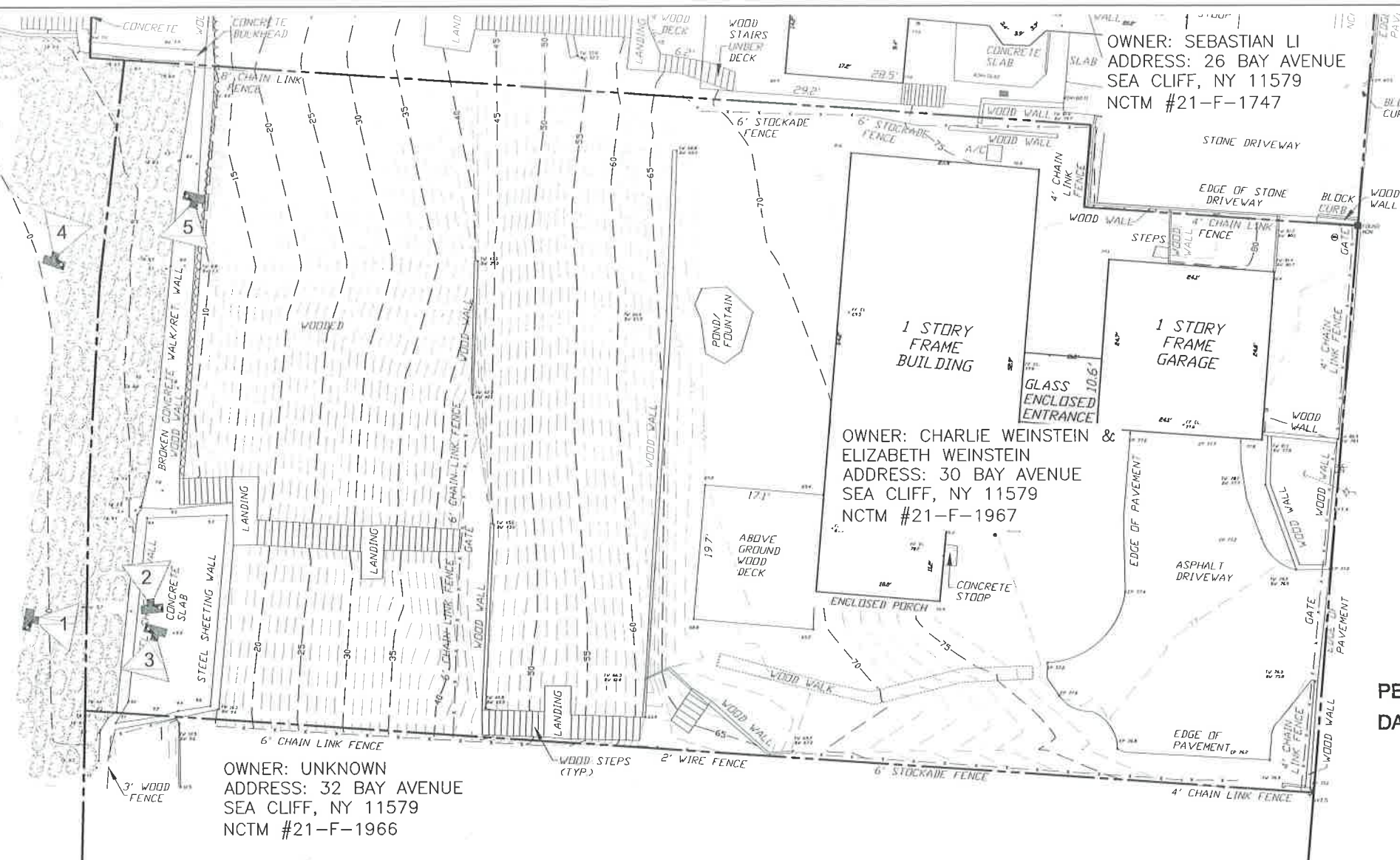
SEA CLIFF, NY

FEBRUARY 2021

ALL WORK CONTEMPLATED UNDER THIS CONTRACT
IS TO BE COVERED BY AND IN CONFORMITY WITH
THE 2008 NYSDOT STANDARD SPECIFICATIONS (U.S.
CUSTOMARY UNITS), EXCEPT AS MODIFIED ON
THESE PLANS AND IN THE ITEMIZED PROPOSAL.

HEMPSTEAD HARBOR

OWNER: SEBASTIAN LI
 ADDRESS: 26 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1747



OWNER: CHARLIE WEINSTEIN &
 ELIZABETH WEINSTEIN
 ADDRESS: 30 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1967

OWNER: UNKNOWN
 ADDRESS: 32 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1966

NYS DEC
 APPROVED AS PER TERMS
 AND CONDITIONS OF
 PERMIT NO 1-2824-02313/00004
 DATE 2/25/2021 TSK 2 of 4

SITE PLAN
 SCALE 1"=10' (22"X34")
 SCALE 1"=20' (11"X17")



LEGEND:



NCTM# 21-F-1967
 SECTION-BLOCK-LOT

--- EXISTING PROPERTY LINES



PHOTO NO. 1



PHOTO NO. 2

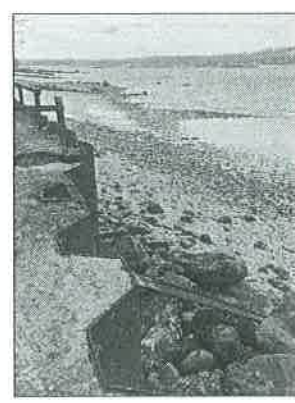


PHOTO NO. 3



PHOTO NO. 4



PHOTO NO. 5

DATE	BY	DESCRIPTION	APPROV. BY
02-19-21	DCR	UPDATED PLANS AS PER DOS COMMENTS	KJM
01-21-20	DCR	UPDATED PLANS AS PER COMMENTS NOPM 21-01-20	KJM
11-25-20	DCR	UPDATED PLANS AS PER COMMENTS NOIA 20-11-23	KJM
11-10-20	DCR	UPDATED PLANS AS PER COMMENTS NOIA 20-11-09	KJM

THE INCORPORATED VILLAGE OF SEA CLIFF
 NASSAU COUNTY, NEW YORK

SHORELINE STABILIZATION AT 30 BAY AVENUE ON
 HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK

EXISTING CONDITIONS

L. K. McLEAN ASSOCIATES, P.C.
 CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719

Designed By: KJM	Scale: AS SHOWN	Sheet No.:
Drawn By: DCR	Date: FEBRUARY 2021	2 OF 4
Approved By: RAS	File No. 20079.000	

OWNER: SEBASTIAN LI
 ADDRESS: 26 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1747

LITORAL ZONE (LZ)

ADJACENT AREA (AA)

HEMPSTEAD HARBOR

BAY AVENUE

REMOVE AND RESET EXISTING ARMOR STONE AREA AS NECESSARY FOR CONSTRUCTION OF NEW REVETMENT (SEE MISCELLANEOUS DETAILS, SEE NOTE 10)

EX. TOE OF SLOPE TO MATCH PROPOSED

M.L.W. = -3.81±

REMOVE AND DISPOSE OF EXISTING CONCRETE WALKWAY AND TIMBER RETAINING WALL

EXISTING STEEL SHEETING TO REMAIN

2 LAYERS OF 2.5 TON HEAVY ARMOR STONE @ 1:2 SLOPE (SEE SECTION A-A), (242± CY)

TOP OF SLOPE EL. 17± (MEET EXISTING)

GRADE BREAK (CONTRACTOR SHALL LAY STONES FLAT FOR WALKING @ EL. 11.0, SEE TYPICAL SECTION A-A)

SEE NOTE 11 AND SECTION A-A

OWNER: CHARLIE WEINSTEIN & ELIZABETH WEINSTEIN
 ADDRESS: 30 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1967

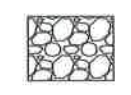
OWNER: UNKNOWN
 ADDRESS: 32 BAY AVENUE
 SEA CLIFF, NY 11579
 NCTM #21-F-1966

SITE PLAN

SCALE 1"=10' (22"X34")
 SCALE 1"=20' (11"X17")



LEGEND



PROPOSED 2.5 TON HEAVY ARMOR STONE (SEE SECTION A-A)

EXISTING PROPERTY LINES

NCTM# 21-F-1967
 SECTION-BLOCK-LOT

NYSDEC
APPROVED AS PER TERMS
AND CONDITIONS OF
PERMIT NO 1-2824-02313/00004
DATE 2/25/2021 JK 3 of 4

NOTES:

- CONTRACTOR SHALL READ AND FOLLOW ALL PERMIT CONDITIONS AND SPECIAL CONDITIONS CONTAINED IN THE NYSDEC PERMIT TO ENSURE COMPLIANCE DURING THE TERM OF THE PERMIT.
- HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
- THE VERTICAL DATUM IS NAVD88.
- CONTRACTOR SHALL RESTORE ANY DISTURBED AREA IN KIND.
- CONTRACTOR SHALL NOTIFY NEIGHBORS TO THE NORTH AND SOUTH SIDE OF RIGHT OF WAY OF THE PROPOSED CONSTRUCTION START TIME.
- CONTRACTORS SHALL REMOVE ALL DEBRIS, UNSUITABLE FILL MATERIALS, DEBRIS IN WATER AND DISPOSE OFF SITE AT A NYSDEC APPROVED UPLAND DISPOSAL AREA. CONTRACTOR SHALL ALSO CLEAR AND GRUB EXISTING VEGETATION.
- FILL SHALL BE FROM ON-SITE OR LOCAL SOURCES.
- CONTRACTOR SHALL ACCESS THE SITE VIA BARGE FROM HEMPSTEAD HARBOR.
- THERE SHALL BE NO EXCAVATION SEAWARD OF THE EXISTING STONE REVETMENT BELOW M.H.W. (EL. 3.97±).
- ARMOR STONE WHICH MUST BE MOVED TO CONSTRUCT THE NEW REVETMENT SHALL NOT BE REMOVED FROM THE SITE AND SHALL BE INCORPORATED IN THE NEW REVETMENT. ALL STONE TO BE REMOVED AND RESET SHALL BE ABOVE S.H.W.
- ALL EXCAVATED MATERIAL AND DEBRIS SHALL BE LEGALLY DISPOSED OF OFF SITE AT A NYSDEC APPROVED UPLAND DISPOSAL AREA. APPROXIMATELY 115 CY SHALL BE EXCAVATED AND DISPOSED OF.

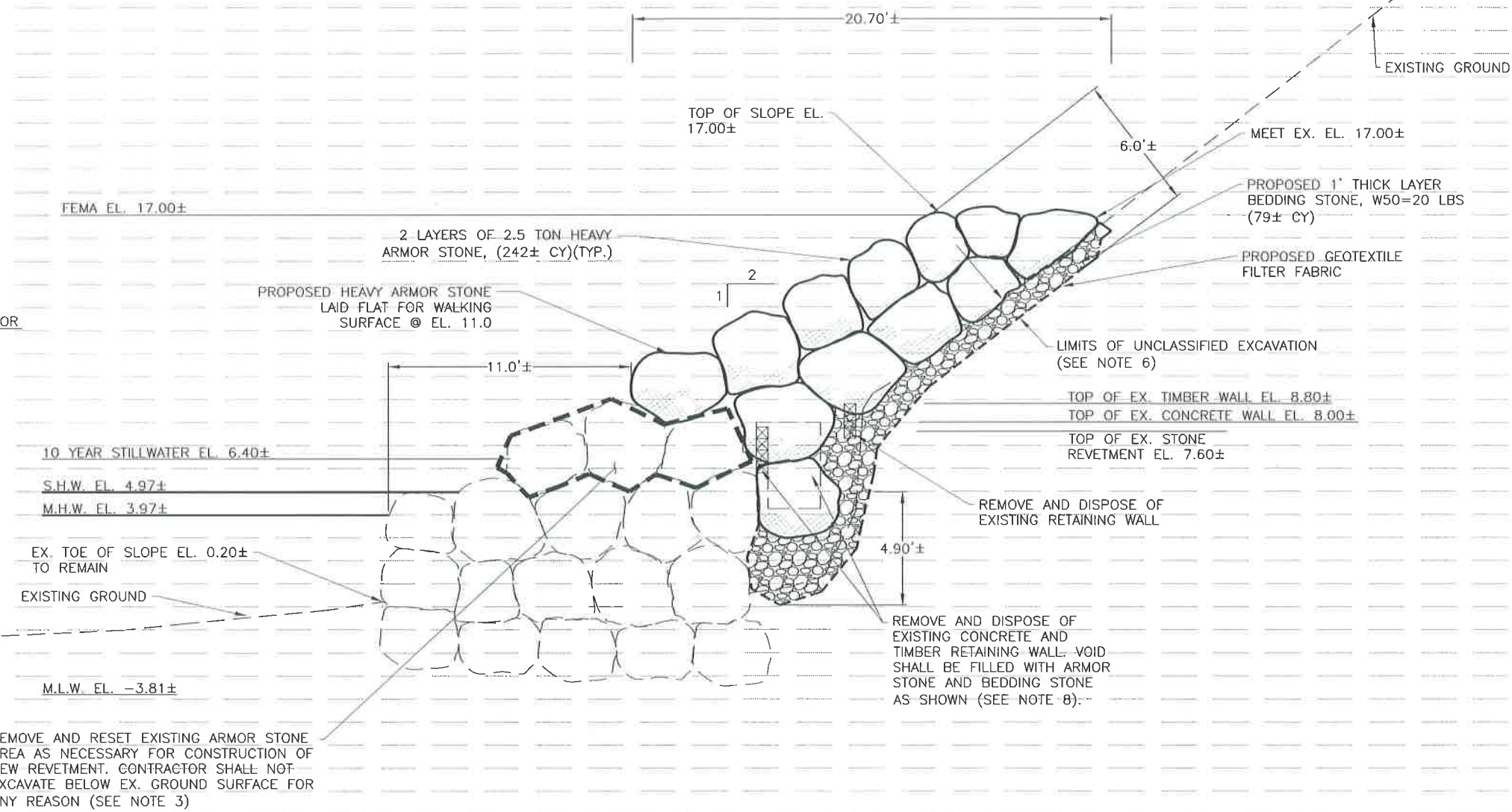
DATE	BY	DESCRIPTION	APPROV. BY
02-19-21	DCR	UPDATED PLANS AS PER DOS COMMENTS	KJM
01-21-20	DCR	UPDATED PLANS AS PER COMMENTS NOPM 21-01-20	KJM
11-25-20	DCR	UPDATED PLANS AS PER COMMENTS NOIA 20-11-23	KJM
11-10-20	DCR	UPDATED PLANS AS PER COMMENTS NOIA 20-11-09	KJM

REVISIONS			
LKMA			
THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 30 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
GENERAL PLAN			
L. K. McLEAN ASSOCIATES, P.C. CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719			
Designed By:	KJM	Scale:	AS SHOWN
Drawn By:	DCR	Date:	FEBRUARY 2021
Approved By:	RAS	File No.:	20079.000
			3 OF 4

Feb 19, 2021 - 03:00pm
 P:\20079.000\30 Bay Avenue Sea Cliff\Civil-DWG\Contract-Drawings\General Plan #30.dwg

30
29
28
27
26
25
24
23
22
21
20
19
18
17
16
15
14
13
12
11
10
9
8
7
6
5
4
3
2
1
0
-1
-2
-3
-4
-5
-6
-7
-8
-9
-10
-11
-12

HEMPSTEAD HARBOR



NOTES:

- HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
- THE VERTICAL DATUM IS REFERENCED TO NAVD88.
- STONES WITHIN THE FOOTPRINT OF THE EXISTING REVETMENT THAT DO NOT MEET THE PROPOSED SIZE REQUIREMENTS SHALL BE PLACED ON THE INTERIOR LAYER OF THE NEW REVETMENT A.O.B.E. NO STONE FROM WITHIN THIS AREA SHALL BE REMOVED FROM THE SITE. NO EXISTING STONE BELOW S.H.W. SHALL BE DISTURBED.
- CONTRACTOR SHALL CLEAR EXISTING BRUSH, UNSUITABLE SOILS AND TREES WITHIN FOOTPRINT OF PROPOSED REVETMENT.
- CONTRACTOR SHALL READ AND FOLLOW ALL PERMIT CONDITIONS AND SPECIAL CONDITIONS CONTAINED IN THE NYSDEC PERMIT TO ENSURE COMPLIANCE DURING THE TERM OF THE PERMIT.
- ALL EXCAVATED MATERIAL AND DEBRIS SHALL BE LEGALLY DISPOSED OF OFF SITE AT A NYSDEC APPROVED UPLAND DISPOSAL AREA. APPROXIMATELY 115 CY SHALL BE EXCAVATED AND DISPOSED OF.
- THERE SHALL BE NO EXCAVATION SEAWARD OF THE EXISTING STONE REVETMENT BELOW M.H.W. (EL. 3.97±).
- APPROXIMATELY 35 CY OF CONCRETE, TIMBER RETAINING WALL AND EXISTING SOIL SHALL BE REMOVED BELOW ELEVATION 3.97 AND AN ADDITIONAL 11 CY OF CONCRETE AND TIMBER RETAINING WALL SHALL BE REMOVED BETWEEN ELEVATION 3.97 AND 4.97. THE VOID CREATED BY REMOVING THIS MATERIAL WILL BE REPLACED WITH AN EQUIVALENT AMOUNT OF STONE BEDDING AND ARMOR STONE.

SECTION A-A
SCALE 1"=3'

NYSDEC
APPROVED AS PER TERMS
AND CONDITIONS OF
PERMIT NO 1-2824-02313/0004
DATE 2/25/2021 tjk 4 of 4

DATE	BY	DESCRIPTION	APPROV. BY
02-19-21	DCR	UPDATED PLANS AS PER DOS COMMENTS	KJM
01-21-20	DCR	UPDATED PLANS AS PER COMMENTS NOPM 21-01-20	KJM
11-25-20	DCR	UPDATED PLANS AS PER COMMENTS NOIA 20-11-23	KJM
11-10-20	DCR	UPDATED PLANS AS PER COMMENTS NOIA 20-11-09	KJM

REVISIONS			
LKMA			
THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 30 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
MISCELLANEOUS DETAILS			
L. K. McLEAN ASSOCIATES, P.C.			
<small>CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719</small>			
Designed By:	KJM	Scale:	AS SHOWN
Drawn By:	DCR	Date:	FEBRUARY 2021
Approved By:	RAS	File No:	20079.000
			Sheet No. 4 OF 4

STATE OF NEW YORK
DEPARTMENT OF STATE

ONE COMMERCE PLAZA
99 WASHINGTON AVENUE
ALBANY, NY 12231-0001
WWW.DOS.NY.GOV

ANDREW M. CUOMO
GOVERNOR

ROSSANA ROSADO
SECRETARY OF STATE

February 24, 2021

Keith Masseria
L.K. McLean Associates, P.C.
437 South Country Road
Brookhaven, NY 11719

Re: F-2020-0999
U.S. Army Corps of Engineers/ New York District
Permit Application – Weinstein Proposal
NYS DEC Region 1 Application #1-2824-02313
Removal of existing concrete and timber retaining
walls and installation of stone revetment 62.5' long x
20.7' wide consisting of geotextile filter fabric,
bedding stone, and 2 layers heavy armor stone.
30 Bay Avenue, Village of Sea Cliff, Nassau County,
Hempstead Harbor
General Concurrence

Dear Mr. Masseria:

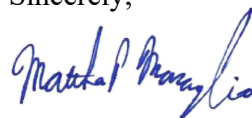
The Department of State (DOS) received your Federal Consistency Assessment Form and consistency certification and supporting information for this proposal on November 4, 2020.

The Department of State has determined that this proposal meets the Department's general consistency concurrence criteria. Therefore, further review of the proposed activity by the Department of State and the Department's concurrence with an individual consistency certification for the proposed activity are not required.

This determination is without prejudice to and does not obviate the need to obtain all other applicable licenses, permits, and other forms of authorizations or approvals which may be required pursuant to existing New York State statutes.

When communicating with us regarding this matter, please contact us at (518) 474-6000 and refer to our file #F-2020-0999.

Sincerely,



Matthew P. Maraglio
Supervisor, Consistency Review Unit
Office of Planning, Development and
Community Infrastructure

MM/HW

cc: COE/ New York District – Reagan McCaulley (Weinstein Proposal)
DEC Region 1 – Thomas Kohlmann (1-2824-02313/00004,5,6)
Applicant – Charles Weinstein



**Department
of State**

Project Description

This project entails the removal and disposal of the existing concrete and timber retaining walls and the installation of a stone revetment at 30 Bay Avenue. The site is located in the Incorporated Village of Sea Cliff, Town of Oyster Bay.

At the on-set of the project, various design scenarios were considered to determine the most suitable elevation of the top of the revetment as well as the individual armor stone sizes. Critical elements considered include Fetch Distance and corresponding water depth, Wind Speed and Depth at the structure. In addition, in accordance with FEMA's Criteria for Evaluating Coastal Flood Protection Structures for National Flood Insurance Program Purposes various design still water elevations were considered. This includes MHW, SPHW and the 10 Year Stillwater Elevation. Using this information, 12 different scenarios were developed. Ultimately, we feel that the following scenario is likely to occur at this location:

- Spring High Water Elevation 4.97 (NAVD88)
- 78 MPH Wind Speed (25 Year Wind Speed)
- Average Fetch Depth = 32.10 ft
- Fetch Distance 7.26 Miles

The above referenced design criteria were used to calculate the maximum wave height at the structure using the ACOE Shore Protection Manual Formula. Ultimately, the design wave height was determined to be equal to the Maximum Breaking Wave Height or 6.15'. The following formula was then used to calculate the elevation of the top of the revetment:

Spring High Water Elevation + (0.7*Wave Height) + Wave Run up = Top of Revetment Elevation

$$4.97 + (0.7*6.15) + (6.10*1.125) = 16.14 \text{ NAVD88}$$

Based on our experience and engineering judgment we do not feel that this scenario is a rare occurrence and is possible to occur at this location.

Furthermore, the top of the second tier of the proposed bulkhead on the south side of the property is Elevation 16.30, NAVD88. Therefore, we are requesting to match the elevation of this bulkhead. This will reduce the top of the revetment shown on the plans by approximately 0.70'.

It is notable that LKMA has recently received NYSDEC permits for revetments with more substantial design criteria located at Gully Landing Road (NYSDEC Permit #1-4722-05086/00003), Broadway Beach (NYSDEC Permit #1-4722-06009/00008) and Friendship Drive (NYSDEC Permit #1-4722-06008/00006) for the Town of Brookhaven. Similarly, we are requesting approval for this project as well because we feel that this revetment is necessary to protect the home at the top of the slope.

As part of this project, it is proposed to remove the existing concrete and timber retaining walls and construct an approximately 62.5 feet long and 20.70 feet wide stone revetment. The revetment will consist of 1-ft -thick layer of W50= 20 lb bedding stone (approximately 79± CY) and 2 layers of 2.5 Tons of heavy armor stone (approximately 242± CY) up to elevation 17.0'± (NAVD88). The existing bedding stone will be underlain with geotextile filter fabric.

Existing soil, which must be excavated in order to install the stone, will be removed and legally disposed of off-site at a NYSDEC approved upland disposal area. There will be no excavation seaward of the existing stone revetment, below M.H.W. (EL. 3.97±).

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action: _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
E.3. Designated Public Resources On or Near Project Site	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: House at 65 Twentieth Avenue, House at 199 Prospect Avenue, House at 195 Prospect Avenue, House at 176 Prospect Avenue...

iii. Brief description of attributes on which listing is based: Entertainment; Architecture

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: _____

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____

iii. Distance between project and resource: _____ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

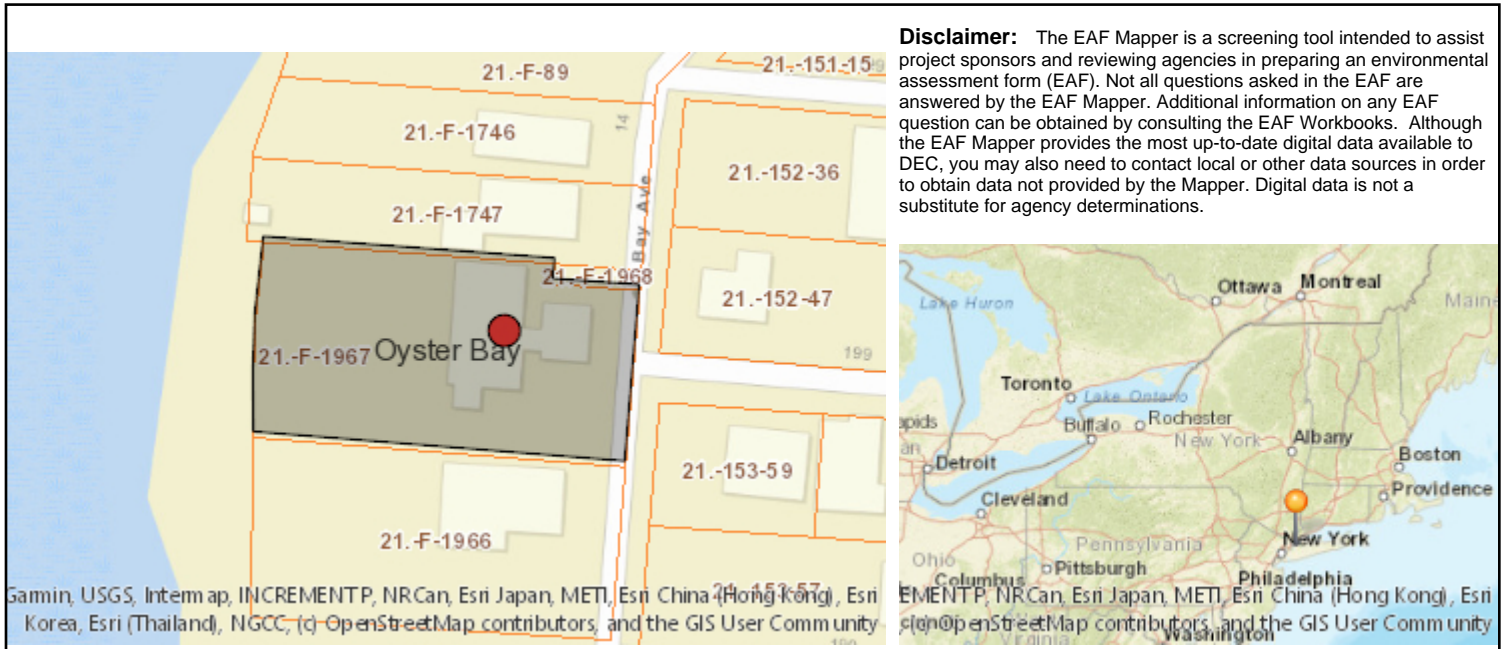
G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Charles Weinstein Date 3-12-21

Signature  Title owner

PRINT FORM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:LI North Shore Heritage Area
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Nassau-Suffolk SSA
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	House at 65 Twentieth Avenue, House at 199 Prospect Avenue, House at 195 Prospect Avenue, House at 176 Prospect Avenue, House at 173 Sixteenth Avenue, Sixteenth Avenue, House at 162
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No