



INCORPORATED VILLAGE OF SEA CLIFF

**OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080**

Notice of Review

5/12/21

TO:
PROPERTY OWNER: Eli Elbaum
PROPERTY ADDRESS: 207 Carpenter Ave
SECTION/ BLOCK/ LOT: 21/94/20

APPLICATION NO: 12391
APPLICATION RECV'D: 5/12/2021
ZONE: Residence B

DESCRIPTION: The applicant proposes to erect a 6ft PVC fence

The Proposed Construction does not comply with the following Village of Sea Cliff Code Section(s):

§ 64-1 Height of fences and walls.

[Amended 11-19-2019 by L.L. No. 7-2019]

- A. Except as otherwise permitted herein, no person shall be permitted to erect or maintain or cause to be erected or maintained any fence or wall, other than a wall which is an integral part of a structure.*
- B. A new or replacement fence located not closer to a front property line than a front line of the principal building on the premises and a front line of the principal building on an adjoining premises made of natural wood, at a height of not more than five feet, together with an additional one foot high top portion containing open type fencing, including lattice, slats or similar open fencing, made of wrought or cast iron, at a height of not more than six feet, and/or made of open-wire material, at a height of not more than five feet, is permitted upon first applying for and obtaining a building permit from the Building Department.*

The applicant proposes to erect a 6ft PVC fence

Shane Dommin
Village of Sea Cliff Building Department

Note; If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.



INCORPORATED VILLAGE OF SEA CLIFF

Post Office Box 340 • 300 Sea Cliff Avenue • Sea Cliff, NY 11579
(516) 671-0080 phone • (516) 671-6508 fax • www.seacliff-ny.gov

BUILDING PERMIT

APPLICATION ID # 12391 APPLICATION DATE 5/12/21 PERMIT # _____

PROPERTY ADDRESS: 207 Carpenter Ave SECT 21 BLOCK 94 LOT 20

Owner: Eli Elbaum
Address: 207 Carpenter Ave City: Sea Cliff State: NY Zip: 11579
Phone: _____ Cell: (718) 902-6236 Email: eli.elbaum@yahoo.com

Applicant: (if applicant is different from owner state relationship to owner) Same as owner.
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Architect:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Contractor: Rosa Fence, Inc
Address: 345 Sunrise Highway, Freeport City: Freeport State: NY Zip: 11520
Phone: (516) 223-0777 Cell: _____ Email: _____

Plumber:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Electrician:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Other/Mechanical:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

A/C, Boiler, etc Model# _____
A/C, Boiler, etc Model# _____



PROPOSED WORK: Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

Replace existing fence with 6-foot PVC fence along side & rear property line - see depiction



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BUILDING PERMIT

Cost of Improvement: \$ 3,240.00 ⁵¹⁰

1980

Owner: Depos and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.

Owner Signature: [Signature]

Owner Signature: _____

PATRICIA GUY
Notary Public, State of New York
No. 01G15029016
Qualified in Nassau County
Commission Expires June 13, 20 22

Date: 5/12/21 Patricia Guy

Notary: _____

Contractors must submit proof of current insurance (C-105.2 or U-26.3 for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit

OFFICIAL USE

FEES \$100 PB pd.

REQUIRED CERTIFICATES

Application Fee \$ 75 paid
Permit Fees
Building _____
Plumbing _____
Electrical _____
Mechanical _____
Certificate _____
Other _____
Total Permit Fees \$ _____

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Approved by _____

Examined for approval on _____

New State Law Requires: Site visits by the **Building Department** prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the **Building Department**.

Village Code Requires: Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)

ZONING BOARD OF APPEALS _____
PLANNING BOARD (check one)

-----x
IN THE MATTER OF THE APPLICATION OF

Eli Elbaum

APPLICATION

Village of Sea Cliff.
-----x

Proposing to install 6' PVC fence.

1. Name of applicant: Eli Elbaum

2. Applicant's address: 207 Carpenter Ave

3. If the applicant is not an owner of the property which is the subject of this application, state the relationship of the applicant to the owner(s):

4. The property which is the subject of this application is located at: 207 Carpenter Ave, Village of Sea Cliff, N. Y. and is also known as Section 21, Block 94, Lot(s) 20 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the property (if applicant is not the sole owner) is:

Eli Elbaum

Maren Cardillo

6. The property is located in the Res B zoning district of the Village of Sea Cliff.
7. The subject property is located on the E side of Carpenter (street).
8. The date on which the owner(s) acquired the property was 10/15/19.
9. The approximate dimensions of the property are 108' feet by 125' feet, and the total acreage of property is 108' 0.31 acres.
10. The property is presently used for Residence.
11. Are there existing buildings on the property? 1 of 1
12. Are there any outstanding village taxes on the property? NO If so, for what years? _____
13. The applicant or owner(s) wish to make use of the property for the purpose of: Residence
14. The Building Department of the Village of Sea Cliff denied an application for a building permit on 5/12/21
15. The proposed construction use of the property does not comply with the following sections of the Village Code: 64-1
- _____
- _____
- _____

16. This is an application for:

_____ an appeal

_____ a variance

_____ a special permit

other (describe): Fence

17. Description of the problem, or reasons for this application, that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

Seeking a 6-foot fence for privacy.
Existing ~~is~~ vegetation doesn't grow
well - significant lack of privacy.

18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? N If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application? N
If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.
20. Are there any outstanding violation notices affecting the subject premises? N
21. Are there any pending court proceedings involving the subject premises? N
22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

Name of applicant: Eli Elbaum
Signature of applicant: [Signature]
Title of signatory: Owner
Date: 05/20/21

AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the _____, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

El. Elbaum
Print Name

[Signature]
Signature

Sworn to before me this 20th
day of May, 2021.

[Signature]
JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

AFFIDAVIT OF OWNER(S)

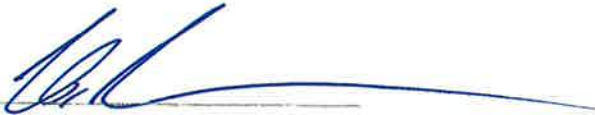
(To be completed only if the applicant is not the sole owner)

(All owners must sign either as owner or applicant)

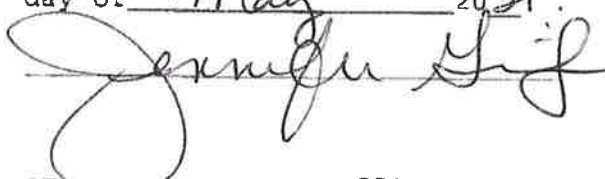
STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

Eli Elbaum being duly sworn, deposes and says that (s)he is the owner of the property known as 207 Carpenter Ave. in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 20th day of May 2021.

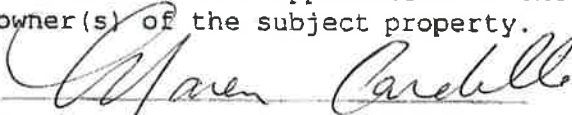


JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

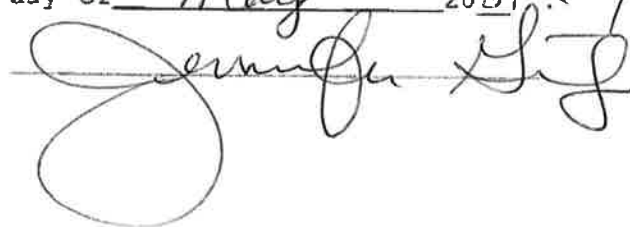
STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

Maren Cardillo being duly sworn, deposes and says that (s)he is the owner of the property known as 207 Carpenter Ave. in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 20th day of May 2021.



JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

ZONING BOARD OF APPEALS _____
PLANNING BOARD — (check one)
VILLAGE OF SEA CLIFF

-----X

In the Matter of the Application of

DISCLOSURE
AFFIDAVIT
General Municipal Law
Section 809

Eli Elbaum-----X

STATE OF NEW YORK) COUNTY OF NASSAU)

ss:

Eli Elbaum, being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
<u>N/A / None</u>			

[Signature]
Signature

Sworn to before me this 20th
day of May 2021.

[Signature]

JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023



Incorporated Village of Sea Cliff
Office of the Superintendent of Buildings
Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

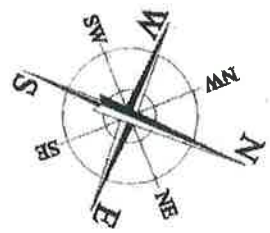
Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

Homeowner: _____

Date: 05/20/21

JOB NO.: 05-24348



CARPENTER AVENUE (50' WIDE)

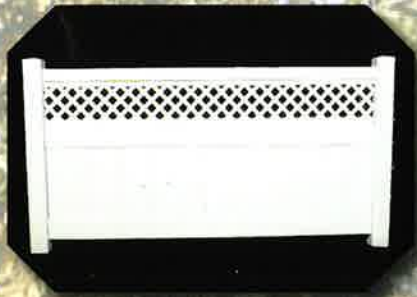
SEA CLIFF AVENUE (50' WIDE)



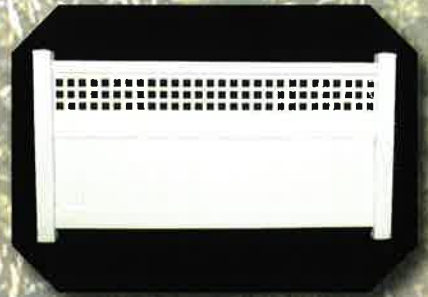
PVC Fence Style Gallery



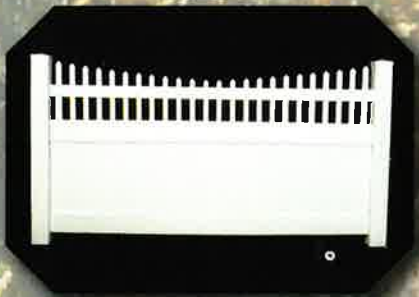
Belle Terre



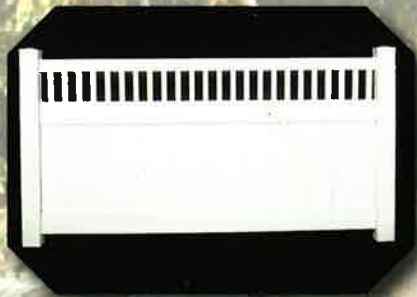
Asharoken



Bridgehampton



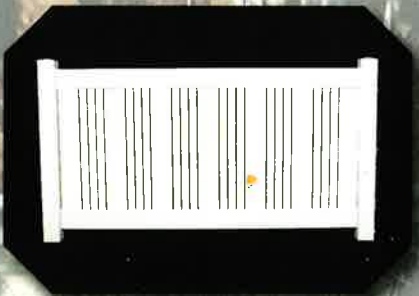
Oyster Bay



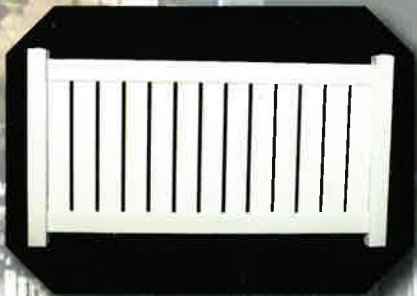
Centre Island



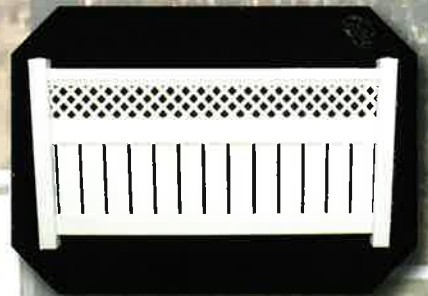
Orient Point



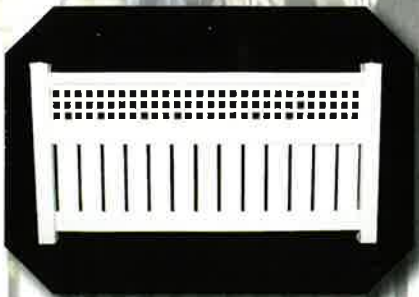
Massapequa



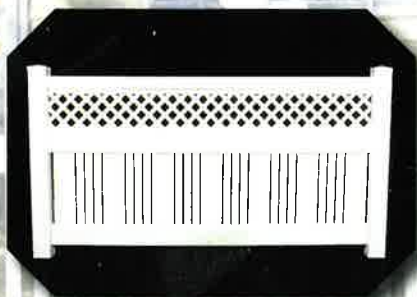
Fire Island



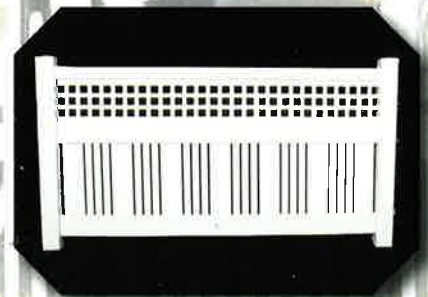
Seaview



Saltaire



Massapequa Park



North Massapequa



These two pics are the side where we're looking for 60 feet:



These two pictures are the 48' side:



PESS DANIEL & BARBARA
OR CURRENT OWMER
227 CARPENTER AVE
SEA CLIFF, NEW YORK 11579

CALDARI JERRY & LAURA
OR CURRENT OWMER
209 CARPENTER AVE
SEA CLIFF, NEW YORK 11579

SHULMAN MARIANNA
OR CURRENT OWMER
124 SEA CLIFF AVE
SEA CLIFF, NEW YORK 11579

ST BONIFACE MARTYR RC CHURCH
OR CURRENT OWMER
SEA CLIFF AVE
SEA CLIFF, NEW YORK 11579

HEIMER EILEEN BRIDGET
OR CURRENT OWMER
138 SEA CLIFF AVE
SEA CLIFF, NEW YORK 11579

~~REGAN THOMAS & PATRICIA~~
OR CURRENT OWMER
125 SEA CLIFF AVE
SEA CLIFF, NEW YORK 11579

Noah Blumenthal

ABBENDA CHRISTINE R & HUGHES JOSEPH
OR CURRENT OWMER
120 SEA CLIFF AVE
SEA CLIFF, NEW YORK 11579

~~GRAY MICHAEL & JOANNE~~
OR CURRENT OWMER
127 SEA CLIFF AVE
SEA CLIFF, NEW YORK 11579

Gregory + Lindsey Feibus

RANNOU YVETTE J
OR CURRENT OWMER
58 DU BOIS AVE
SEA CLIFF, NEW YORK 11579

~~SHALAM DAVID & DEBORAH~~
OR CURRENT OWMER
207 CARPENTER AVE
SEA CLIFF, NEW YORK 11579

Eli Elbaum + Marin Cardillo

LAMARCA ANTHONY J & LINDA S
OR CURRENT OWMER
142 SEA CLIFF AVE
SEA CLIFF, NEW YORK 11579

SEA CLIFF CHAPEL INC
OR CURRENT OWMER
SEA CLIFF CARPENTER AVE
SEA CLIFF, NEW YORK 11579

VONHOLTWALTER F III
OR CURRENT OWMER
122 GLEN AVE
SEA CLIFF, NEW YORK 11579

Elbaum -
207 Carpenter Ave



60ft
-73.639 40.850 Degrees

**** Electronically Filed Document ****

Instrument Number: 2019-102775

Recorded As: EX-D01 - DEED

Recorded On: November 21, 2019

Recorded At: 10:33:52 am

Receipt Number: 1681126

Number of Pages: 4

Processed By: 001 CI

Book-VI/Pg: Bk-D VI-13878 Pg-237

Total Rec Fee(s): \$18,690.00

** Examined and Charged as Follows **

01 - DEED	\$ 60.00	EX-Blocks - Deeds - \$300	\$ 300.00	EX-RP5217 Residential Fee	\$ 125.00
EX-TP-584 Affidavit Fee	\$ 5.00				

Tax-Transfer	Tax Amount	Consid Amt	RS#/CS#	Basic	\$ 0.00
OYSTER BAY	\$ 18200.00	\$ 1300000.00	RE 8733	Local NY CITY	\$ 0.00
				Additional MTA	\$ 0.00
				Spec ASST	\$ 0.00
				Spec ADDL SONYMA	\$ 0.00
				Transfer	\$ 18200.00

Tax Charge: \$ 18200.00

Property Information:

Section	Block	Lot	Unit	Town Name
21	94	20		OYSTER BAY

*****THIS PAGE IS PART OF THE INSTRUMENT*****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell

County Clerk Maureen O'Connell

**BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR'S ACTS
(INDIVIDUAL OR CORPORATION)**

FORM 8002 (short version), FORM 8007 (long version)

CAUTION: THIS AGREEMENT SHOULD BE PREPARED BY AN ATTORNEY AND REVIEWED BY ATTORNEYS FOR SELLER AND PURCHASER BEFORE SIGNING.

THIS INDENTURE, made the ^{15th} day of October, 2019

BETWEEN DAVID SHALAM and DEBORAH SHALAM, residing at 207 Carpenter Avenue, Sea Cliff, NY 11579, party of the first part, and

MAREN CARDILLO and ELI ELBAUM, as ^{WIFE AND HUSBAND} ~~tenants by the entirety~~, residing at 16 Elm Place, Sea Cliff, NY 11579, party of the second part;

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and No Cents (\$10.00) and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever;

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being:

See Schedule A Annexed

The premises being conveyed are the same premises as were conveyed to the party of the first part by deed dated 3/12/15 and recorded 3/17/15 in Liber 13188 Page 252 at Nassau County Recording Office.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:



DAVID SHALAM

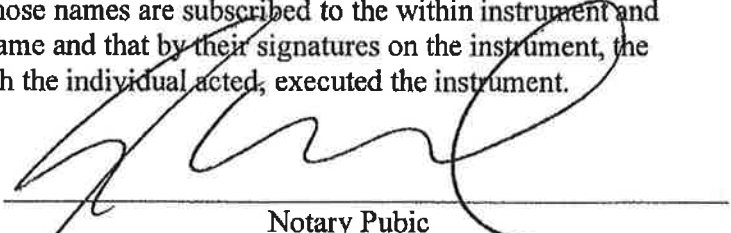
DEBORAH SHALAM

S
21
B
94
L
20

Acknowledgment by a Person Within/Without New York State (RPL § 309-a)

STATE OF NEW YORK)
COUNTY OF NASSAU) ss.:
)

On the 11 day of October in the year 2019, before me, the undersigned, personally DAVID SHALAM and DEBORAH SHALAM, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same and that by their signatures on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Notary Public

MARK VUCEMILOVICH
Notary Public, State of New York
No. 01VU5011529
Qualified in Queens County
Commission Expires April 19, 2020

Deed

Title No.

DAVID SHALAM and
DEBORAH SHALAM

To

MAREN CARDILLO and
ELI ELBAUM

Section 21

Block 94

Lot 20

County or Town Nassau County

Street Address 207 Carpenter Avenue
Sea Cliff, New York 11579

Return By Mail To:

Amy Haber, Esq.
66 Split Rock Road
Syosset, New York 11791

Reserve This Space For Use Of Recording Office

Westcor Land Title Insurance Company

Title Number: **WLT-041815JN**

Page 1

SCHEDULE A DESCRIPTION

ALL that certain plot piece or parcel of land, situate, lying and being in the Incorporated Village of Sea Cliff, Town of Oyster Bay, County of Nassau and State of New York, known and designated as and by part of Lot Numbers 27 and Number 28 on a certain map entitled, "Map of Clifton Park, property of Henry Dubois, Town of Oyster Bay, Queens County, September 18th 1880, by W.E. Hawxhurst, Surveyor", and filed in the Office of the Clerk of the County of Queens on October 7, 1880 as Map Number 636 and subsequently filed in the Office of the Clerk of the County of Nassau as Map Number 143, Case Number 1328, and which said lot and part of lot when taken together are more particular bounded and described as follows:

BEGINNING at the corner formed by the intersection of the southerly side of Cliff Avenue with the easterly side of Carpenter Avenue;

RUNNING THENCE easterly along the southerly side of Sea Cliff Avenue 125 feet;

THENCE southerly at right angles to the southerly side of Sea Cliff Avenue 108.00 feet;

THENCE westerly parallel with the southerly side of Sea Cliff Avenue 125 feet to the easterly side of Carpenter Avenue; and

THENCE northerly along the easterly side of Carpenter Avenue 108.00 feet to the corner, to the point or place of BEGINNING.

FOR INFORMATION ONLY: Premises known as 207 Carpenter Avenue, Sea Cliff, NY 11579.