



INCORPORATED VILLAGE OF SEA CLIFF

**OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080**

Notice of Review

3/10/21

TO:

PROPERTY OWNER: Jeremy & Nicole Ecker
PROPERTY ADDRESS: 30 Woodridge Lane
SECTION/ BLOCK/ LOT: 21/L/40

APPLICATION NO: 12293
APPLICATION REC'D: 3/10/2021
ZONE: Residence B

DESCRIPTION: The applicant proposes to demolish existing home and build a new home with a pool.

The Proposed Construction does not comply with the following Village of Sea Cliff Code Section(s):

§ 138-506 Minimum front property line requirements.

No building shall be erected on any lot having a front property line of less than 100 feet.

The applicant proposes to demolish existing home and build a new home on a lot that has 75.05ft of frontage where a minimum of 100ft is required.

§ 138-1001 General requirements.

D. For properties used for residential purposes, no curb cut shall be greater than 25 feet in width, closer than 25 feet to any street intersection, closer than four feet to any property line or closer than eight feet to any other curb cut.

[Added 5-11-2020 by L.L. No. 5-2020]

The applicant proposes to construct a curb cut within 4ft of a property line.

§ 107-4 Review required.

[Amended 10-7-1996 by L.L. No. 1-1996; 12-10-2018 by L.L. No. 7-2018; 5-11-2020 by L.L. No. 3-2020]

Site plan review, as provided herein, shall be required for the following, and the Planning Board shall approve, approve with modifications or disapprove applications, as follows:

A. Applications for building permits. All building permit applications involving the proposed erection of any structure, other than accessory structures on previously improved property or additions to one-family dwellings where the gross floor area of the addition does not exceed 50% of the gross floor area of the existing dwelling.

D. A change in access to a site or a change in circulation within a site that affects at least 20% of the paved and/or gravel area, increases the paved and/or gravel area by 10% or more, or relocates or increase the total linear width of any curb cut or cuts.

E. Any substantial change in topography. For purposes of this section, any change in topography in excess of one foot in height or elevation, at any point or over any ten-foot linear area, in any direction, shall be considered a substantial change.

The applicant proposes to demolish existing home and build a new home, reconfigure the driveway and install a pool.

Shane Dommin

Village of Sea Cliff Building Department

Note; If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.



INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT

300 SEA CLIFF AVE, P.O. BOX 340, SEA CLIFF, NY 11579 TEL 516-671-0080 FAX 516-671-6508

BUILDING PERMIT

APPLICATION ID # 12293 APPLICATION DATE 2/5/21 PERMIT # _____

PROPERTY ADDRESS: 30 Woodridge Lane ^{Sea Cliff N.Y. 11579} SECT: 21 BLOCK L LOT 40

Owner: Jeremy + Nicole Ecker
Address: 30 Woodridge Lane City: Sea Cliff State: N.Y. Zip: 11579
Phone: _____ Cell: 718-570-9187 Email: Jeremy@restateasypest.com

Applicant: (If applicant is different from owner state relationship to owner)

Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Architect: Oriana Nicoletti - Greco
Address: 499 Jericho Turnpike City: Mineola State: N.Y. Zip: 11501
Phone: 516 873 7278 Cell: 631-806-9382 Email: _____
Suite 201

Contractor:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Plumber:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Electrician:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Other/Mechanical:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

A/C, Boiler, etc Model# _____

A/C, Boiler, etc Model# _____



PROPOSED WORK: Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

Building New Single Family Home per plans.



INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT

300 SEA CLIFF AVE, P.O. BOX 340, SEA CLIFF, NY 11579 TEL 516-671-0080 FAX 516-671-6508

BUILDING PERMIT

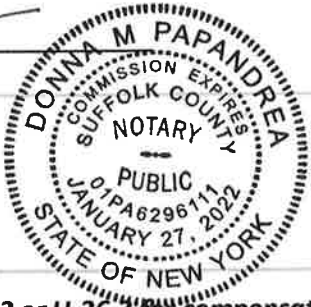
Cost of Improvement:

\$800,000

Owner: Deposits and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.

Owner Signature: [Signature]

Owner Signature: [Signature]



Date: February 15, 2021

Notary: Donna M. Papandrea
01PA6296111

Contractors must submit proof of current insurance (C-105.2 or U-26.3) for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit

OFFICIAL USE

FEES \$100 PR pd.
 \$150 ZBA pd.
 \$75 pd. cash

Application Fee \$

Permit Fees

Building _____

Plumbing _____

Electrical _____

Mechanical _____

Certificate _____

Other _____

Total Permit Fees \$

REQUIRED CERTIFICATES

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Approved by _____

Examined for approval on _____

New State Law Requires: Site visits by the **Building Department** prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the **Building Department**.

Village Code Requires: Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)

ZONING BOARD OF APPEALS
PLANNING BOARD _____ (check one)

-----x
IN THE MATTER OF THE APPLICATION OF

Jeremy Ecker

APPLICATION

Village of Sea Cliff.
-----x

Purposing to demolish existing home & build
a new Home with a pool

1. Name of applicant: Jeremy + Nicole Ecker

2. Applicant's address: 30 Woodridge Lane
Sea Cliff, N.Y. 11579

3. If the applicant is not an owner of the property which is the subject of this application, state the relationship of the applicant to the owner(s):

4. The property which is the subject of this application is located at: 30 Woodridge Lane, Village of Sea Cliff, N. Y. and is also known as Section 21, Block 2, Lot(s) 40 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the property (if applicant is not the sole owner) is:

Jeremy Ecker

Nicole Ecker

(residential)

6. The property is located in the B zoning district of the Village of Sea Cliff.
7. The subject property is located on the South side of Woodridge Lane (street).
8. The date on which the owner(s) acquired the property was 6/6/2014.
9. The approximate dimensions of the property are 220 feet by 102 feet, and the total acreage of property is _____ acres.
10. The property is presently used for Residential
11. Are there existing buildings on the property? 1 of 1
12. Are there any outstanding village taxes on the property?
NO If so, for what years? _____
13. The applicant or owner(s) wish to make use of the property for the purpose of: Residence
14. The Building Department of the Village of Sea Cliff denied an application for a building permit on 3/10/21
15. The proposed construction use of the property does not comply with the following sections of the Village Code: # 138-506

16. This is an application for:

an appeal

a variance

a special permit

other(describe): _____

17. Description of the problem, or reasons for this application, that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? NO If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application? NO
If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.
20. Are there any outstanding violation notices affecting the subject premises? NO
21. Are there any pending court proceedings involving the subject premises? NO
22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

Name of applicant: 77 EK

Signature of applicant: Jeremy Eckes

Title of signatory: OWNER

Date: 3/31/21

AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the _____, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

Jeremy Eckert

Print Name

[Handwritten Signature]

Signature

Sworn to before me this 1
day of April 2021

[Handwritten Signature]

JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

AFFIDAVIT OF OWNER(S)

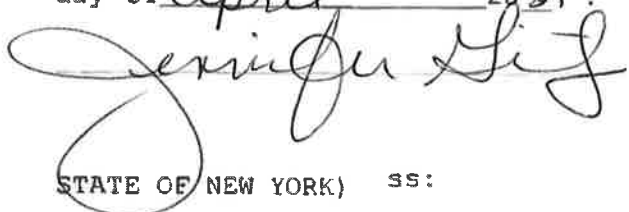
(To be completed only if the applicant is not the sole owner)
(All owners must sign either as owner or applicant)

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

Jeremy Eckert being duly sworn, deposes and says that (s)he is the owner of the property known as 30 Woodridge Lane in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.

Sworn to before me on this 1 day of April 2021.



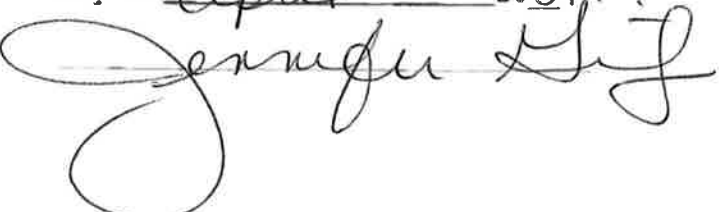
JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

Nicole Eckert being duly sworn, deposes and says that (s)he is the owner of the property known as 30 Woodridge Lane in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.

Sworn to before me on this 1 day of April 2021.



JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

ZONING BOARD OF APPEALS Zoning
PLANNING BOARD _____ (check one)
VILLAGE OF SEA CLIFF

-----X

In the Matter of the Application of

DISCLOSURE
AFFIDAVIT
General Municipal Law
Section 809

Jeremy Ecker-----X

STATE OF NEW YORK) COUNTY OF NASSAU)

ss: Jeremy Ecker, being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
<u>NONE</u>			

[Signature]
Signature

Sworn to before me this 1
day of April 2021.

[Signature]
JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023



Incorporated Village of Sea Cliff
Office of the Superintendent of Buildings
Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

Homeowner: 77 EK

Date: 3/31/21



REAR ELEVATION 1/4" = 1'-0"



FRONT ELEVATION 1/4" = 1'-0"

ARCHITECT:
ORIANA NICOLETTI-GRECO
 member A.I.A.

489 JERICHO TURNPIKE
 SUITE 201
 MINEOLA, NEW YORK 11501
 T. 516.813.1218
 F. 516.813.1218

Drawing notes

1. All drawings are the property of the architect and shall remain the property of the architect. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.

2. The architect is not responsible for the accuracy of the information provided by the client or for the construction of the project.

3. The architect is not responsible for the construction of the project.

4. The architect is not responsible for the construction of the project.

5. The architect is not responsible for the construction of the project.

6. The architect is not responsible for the construction of the project.

7. The architect is not responsible for the construction of the project.

8. The architect is not responsible for the construction of the project.

9. The architect is not responsible for the construction of the project.

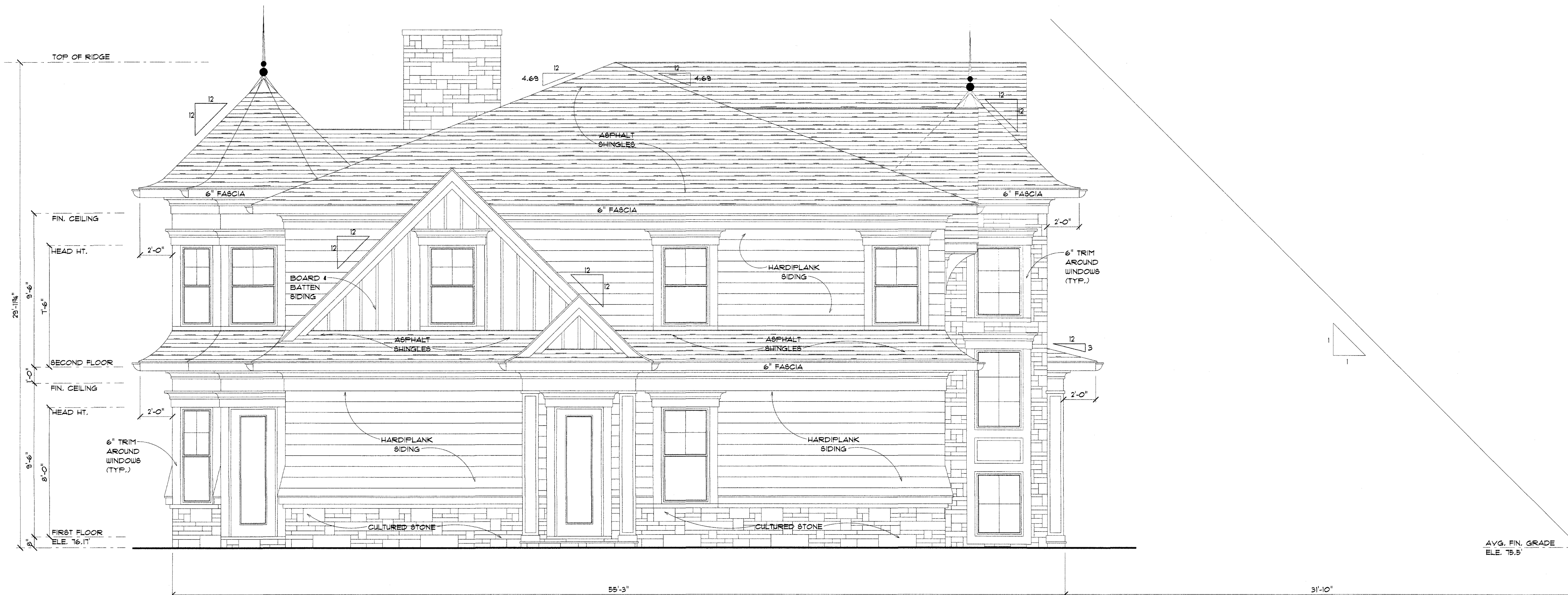
10. The architect is not responsible for the construction of the project.

NO.	DATE	COMMENT: APPLICATION NO.
1	3/25/21	AS PER PLAN EXAMINER

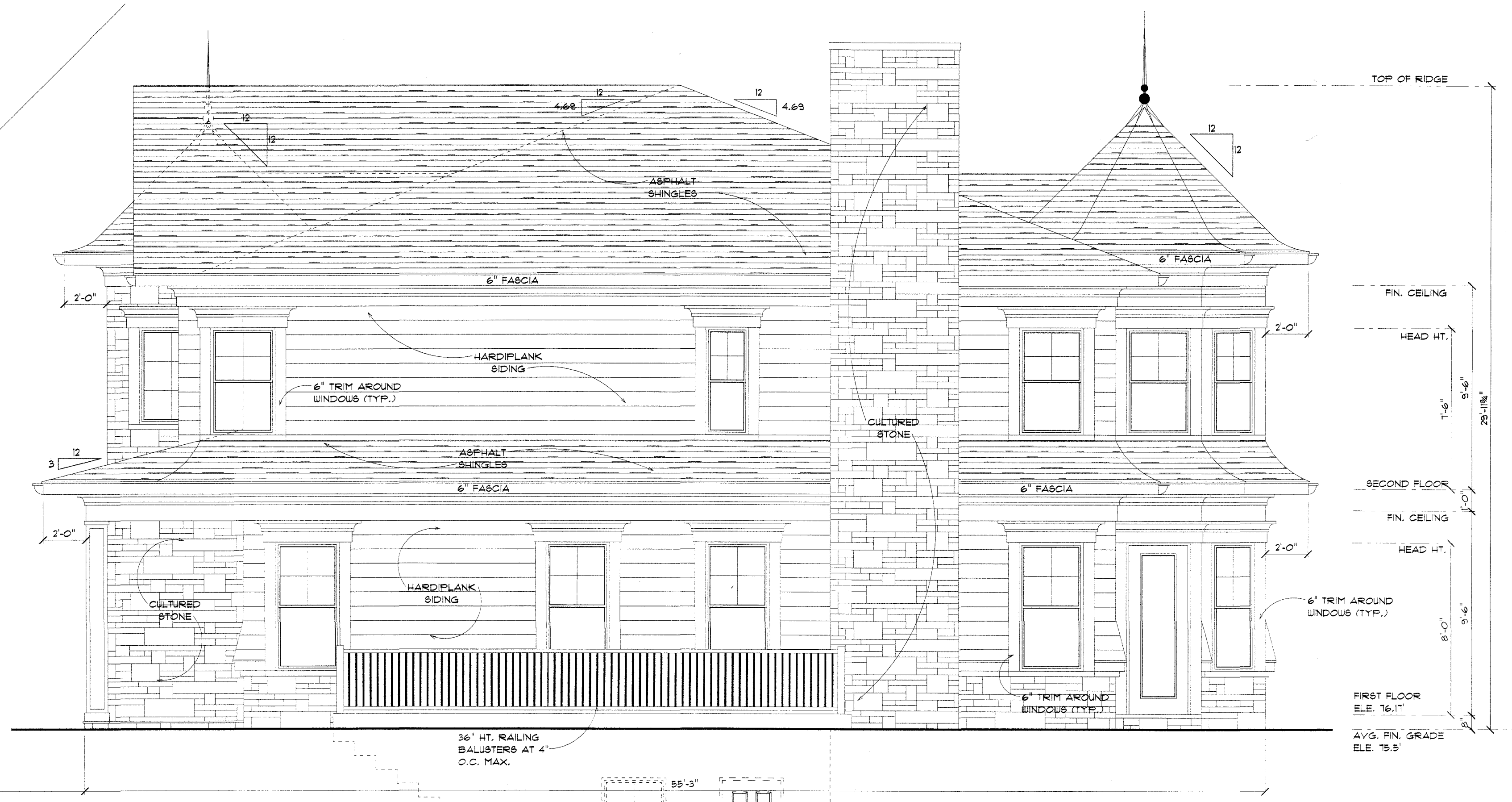
PROJECT: Residence for: **Prestige Custom Building & Construction, Inc.**
 30 WOODRIDGE LANE
 SEA CLIFF, N.Y. 11579
 SECTION: 21 Block: 1 Lot: 40
 SHEET TITLE: FRONT & REAR ELEVATIONS

JOB NO.: 2001
 DRAWN BY: CUG
 DATE: 1/21/21
 SHEET NUMBER:

A-1



LEFT SIDE ELEVATION 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1/4" = 1'-0"

ARCHITECT:
ORIANA NICOLETTI-GRECO
member A.I.A.

493 JERICHO TURNPIKE
SUITE 201
MINEOLA, NEW YORK 11501
T. 516.813.1218
F. 516.813.1218

Drawing notes

- All portions of this design and the information contained herein are proprietary and subject to the provisions of the contract documents.
- This drawing is an instrument of service prepared by the architect for the project noted. All information contained herein is for the use of the contractor and is not to be used for any other purpose without the written consent of the architect.
- All contractors working from this drawing shall be responsible for verifying all dimensions and details in the field. The architect shall not be responsible for any errors or omissions on the part of the contractor.
- The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- The contractor shall be responsible for obtaining all necessary materials and labor for the project.
- The contractor shall be responsible for the safety of all workers and the public during the construction of the project.
- The contractor shall be responsible for the protection of all existing structures and utilities on the site.
- The contractor shall be responsible for the cleanup and removal of all debris and materials from the site.
- The contractor shall be responsible for the completion of the project in accordance with the contract documents.
- The contractor shall be responsible for the maintenance of all records and documents related to the project.

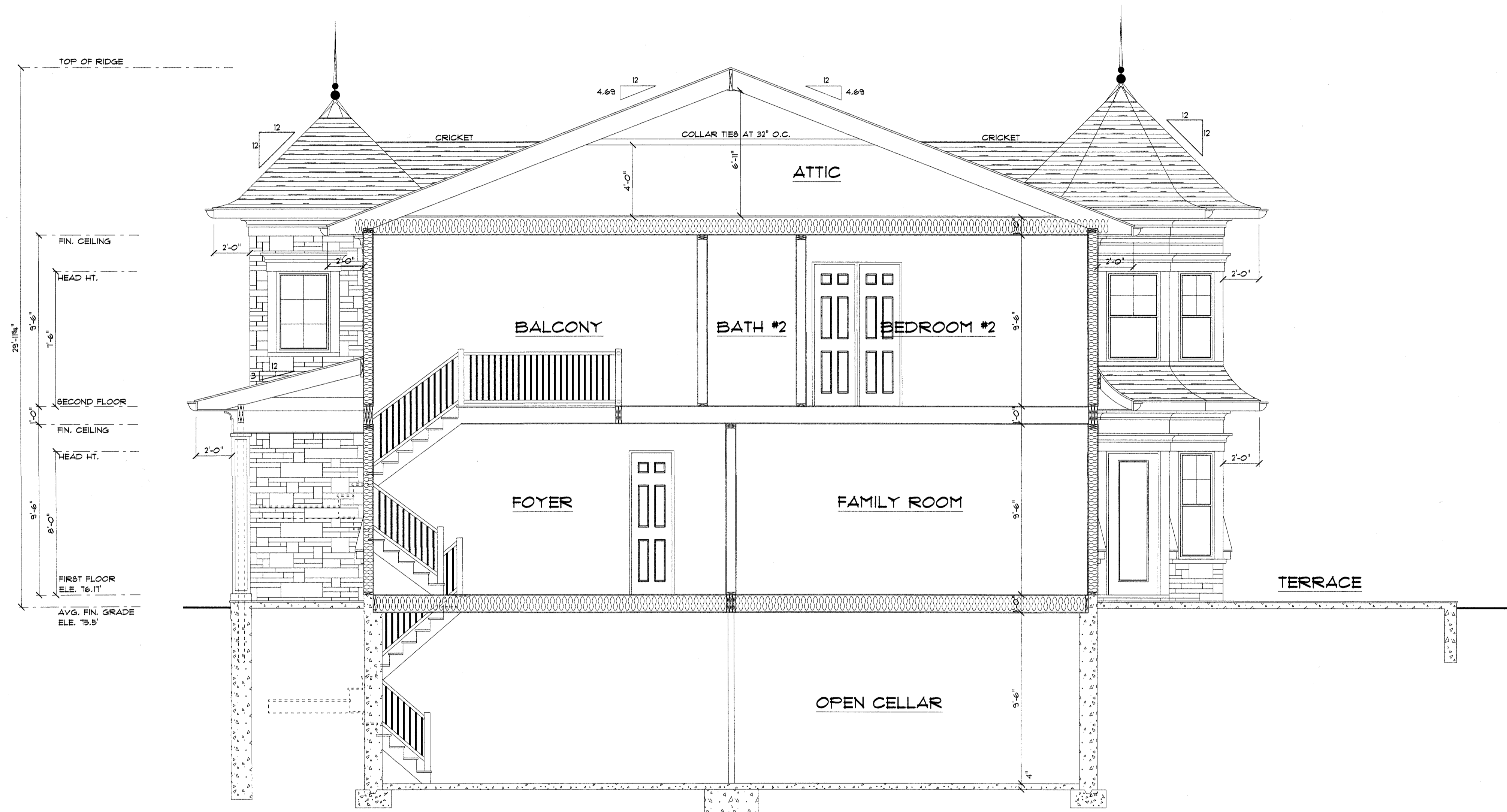
NO.	DATE	COMMENT / APPLICATION NO.

PROJECT: Residence for: Prestige
Custom Building & Construction, Inc.
30 WOODRIDGE LANE
SEA CLIFF, N.Y. 11579
Section: 21 Block: L Lot: 40
SHEET TITLE: RIGHT & LEFT SIDE ELEVATIONS

JOB NO.:
2001
DRAWN BY: CUG
DATE: 1/21/21
SHEET NUMBER:

VILLAGE OF SEA CLIFF, NY
APR 12 2021
BUILDING DEPARTMENT

A-2



CROSS SECTION 1/4" = 1'-0"

ARCHITECT:
ORIANA NICOLETTI-GRECO
 member A.I.A.

498 JERICHO TURNPIKE
 SUITE 201
 MINEOLA, NEW YORK 11501
 T. 516.873.1278
 F. 516.873.1218

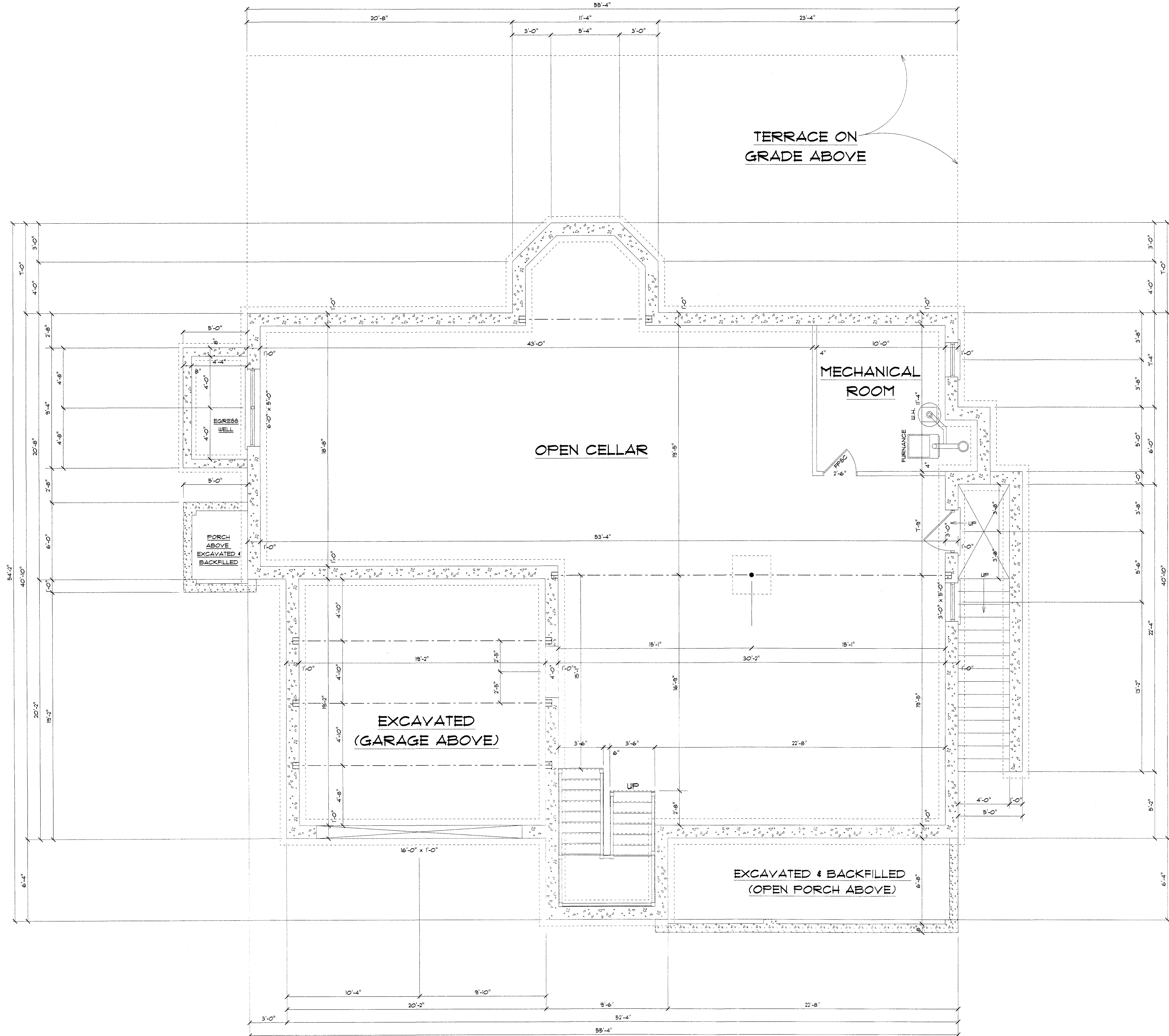
Drawing notes
 1. All aspects of this design and the information contained herein are preliminary and subject to change without notice.
 2. This drawing is an advisory drawing and is not to be used for construction purposes.
 3. All construction shall conform to the applicable building code, and all materials shall be of the highest quality.
 4. The architect is not responsible for the accuracy of the information contained herein.
 5. The architect is not responsible for the accuracy of the information contained herein.

NO.	DATE:	COMMENT: APPLICATION NO.

PROJECT: Residence for: Prestige
 Custom Building & Construction, Inc.
 30 WOODRIDGE LANE
 SEA CLIFF, N.Y. 11579
 Section: 21 Block: 1 Lot: 40
 SHEET TITLE: CROSS SECTION

JOB NO. 2001
 DRAWN BY: CWG
 DATE: 1/21/20
 SHEET NUMBER:

A-3



FOUNDATION PLAN

1/4" = 1'-0"

CELLAR AREA = 1,931.1 SQ. FT.

ARCHITECT:
ORIANA NICOLETTI-GRECO
 member A.I.A.

499 JERICHO TURNPIKE
 SUITE 201
 MINEOLA, NEW YORK 11501
 T. 516.873.7218
 F. 516.873.1218

Drawing notes

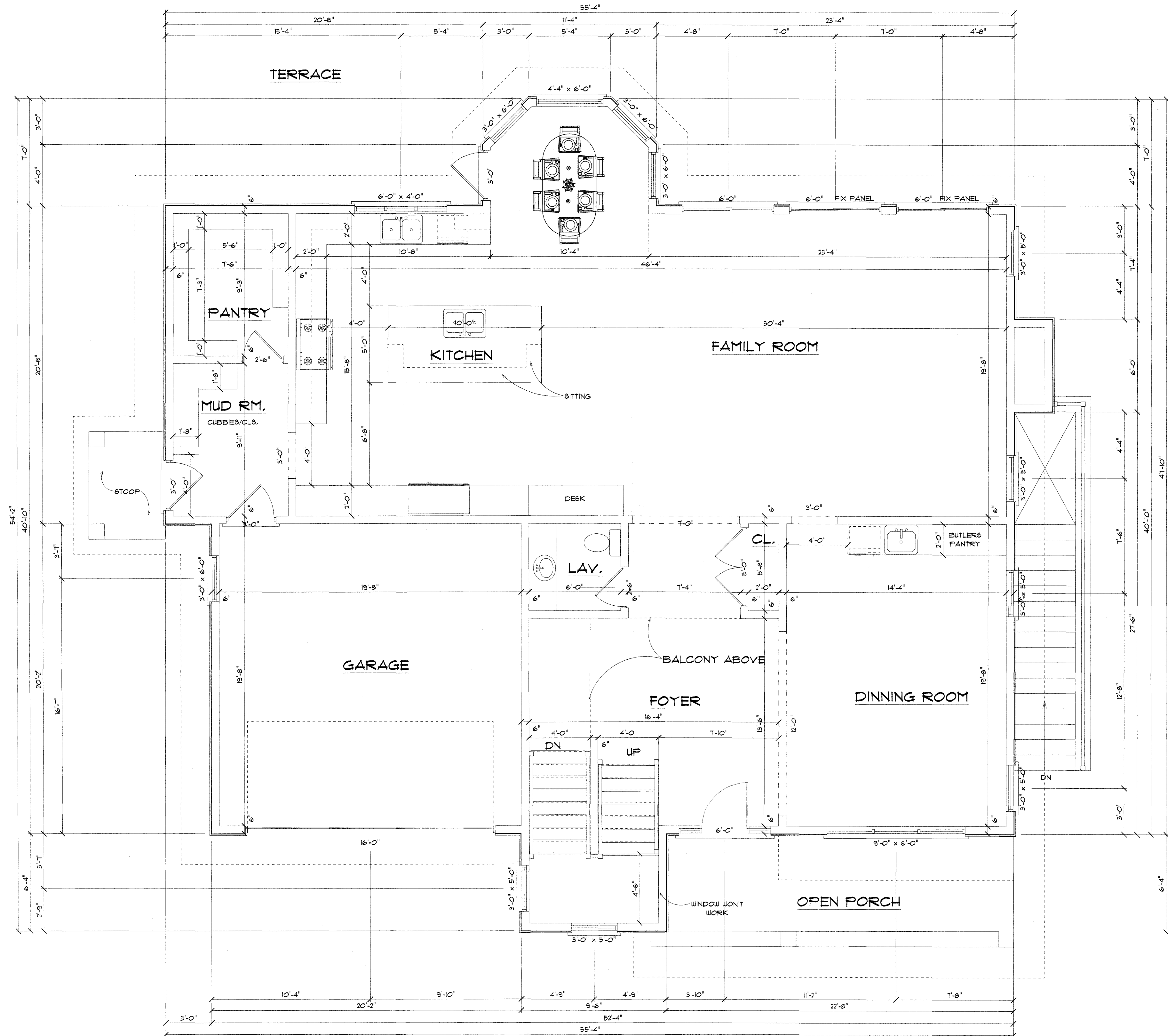
1. This drawing is a preliminary design and is subject to change without notice.
2. This drawing is a preliminary design and is subject to change without notice.
3. All contractors working from this drawing shall be responsible for field verifying all dimensions and conditions before construction.
4. All structural, mechanical, plumbing, electrical, etc. work shall be coordinated with the respective trades and approved by the respective authorities.
5. In all instances the structural engineer shall be responsible for the design of all structural elements.
6. Only drawings stamped "DESIGNED FOR CONSTRUCTION" may be used to construct the project.
7. For all conditions or changes not shown on this drawing, the contractor shall obtain the written approval of the licensed architect to alter in any way.

NO.	DATE	COMMENT / APPLICATION NO.

PROJECT: Residence for: Prestige
 Custom Building & Construction, Inc.
 30 WOODRIDGE LANE
 SEA CLIFF, N.Y. 11579
 Section: 21 Block: L Lot: 40
 SHEET TITLE: FOUNDATION PLAN

JOB NO.: 2001
 DRAWN BY: JWG
 DATE: 1/21/21
 SHEET NUMBER:

A-4



FIRST FLOOR PLAN 1/4" = 1'-0"

FLOOR AREA = 2,329.4 SQ. FT.

ARCHITECT:
ORIANA NICOLETTI-GRECO
member A.I.A.

499 JERICHO TURNPIKE
SUITE 201
MINEOLA, NEW YORK 11501
T. 516.813.1218
F. 516.813.1218

Drawing notes

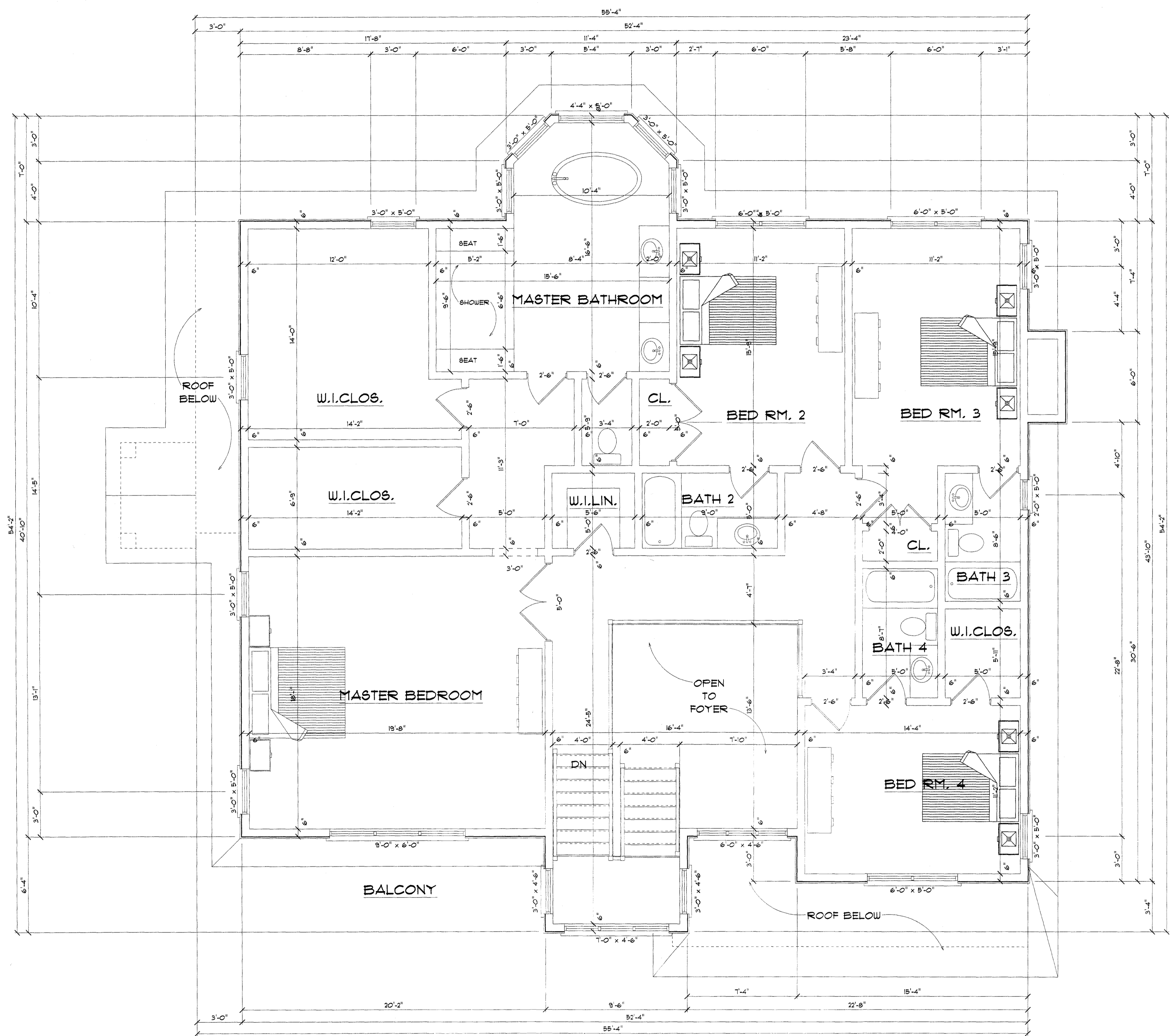
1. All aspects of this design and the information contained herein are proprietary and subject to copyright. Use may not be reproduced in any form.
2. This drawing is intended for the use of the architect and is not to be used for any other purpose without the written consent of the architect.
3. This drawing is not to be used for any other purpose without the written consent of the architect.
4. This drawing is not to be used for any other purpose without the written consent of the architect.
5. This drawing is not to be used for any other purpose without the written consent of the architect.
6. Any construction resulting from this drawing shall be in accordance with the original design and shall be the responsibility of the contractor.
7. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECTION OF THIS LICENSED ARCHITECT TO ALTER ANY PART IN ANY WAY.

NO.	DATE	COMMENT	APPLICATION NO.

PROJECT: Residence for: Prestige
Custom Building & Construction, Inc.
30 WOODRIDGE LANE
SEA CLIFF, N.Y. 11579
Section: 21 Block: L Lot: 40
SHEET TITLE: FIRST FLOOR PLAN

JOB NO.: 2001
DRAWN BY: [Signature]
DATE: 1/21/21
SHEET NUMBER:

A-5



SECOND FLOOR PLAN 1/4" = 1'-0"

FLOOR AREA = 2,313.4 SQ. FT.

ARCHITECT:
ORIANA NICOLETTI-GRECO
 member A.I.A.

499 JERICHO TURNPIKE
 SUITE 201
 MINEOLA, NEW YORK 11501
 T. 516.813.1218
 F. 516.813.1218

Drawing notes

1. All areas of this design and the information contained herein are proprietary and subject to the terms and conditions of the contract for professional services. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect. Any reproduction or use of this drawing without the prior written consent of the architect is prohibited. The architect shall not be responsible for any errors or omissions in this drawing, and the contractor shall be responsible for verifying all dimensions and conditions prior to the commencement of their work. Any discrepancies or variations from the information shown on this drawing shall be the responsibility of the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall not be responsible for any delays or costs incurred by the contractor as a result of the contractor's failure to obtain the necessary permits and approvals. The architect shall not be responsible for any damage to the property or any other loss resulting from the contractor's failure to follow the instructions of the architect. The architect shall not be responsible for any claims or damages resulting from the contractor's failure to follow the instructions of the architect. The architect shall not be responsible for any claims or damages resulting from the contractor's failure to follow the instructions of the architect. The architect shall not be responsible for any claims or damages resulting from the contractor's failure to follow the instructions of the architect.

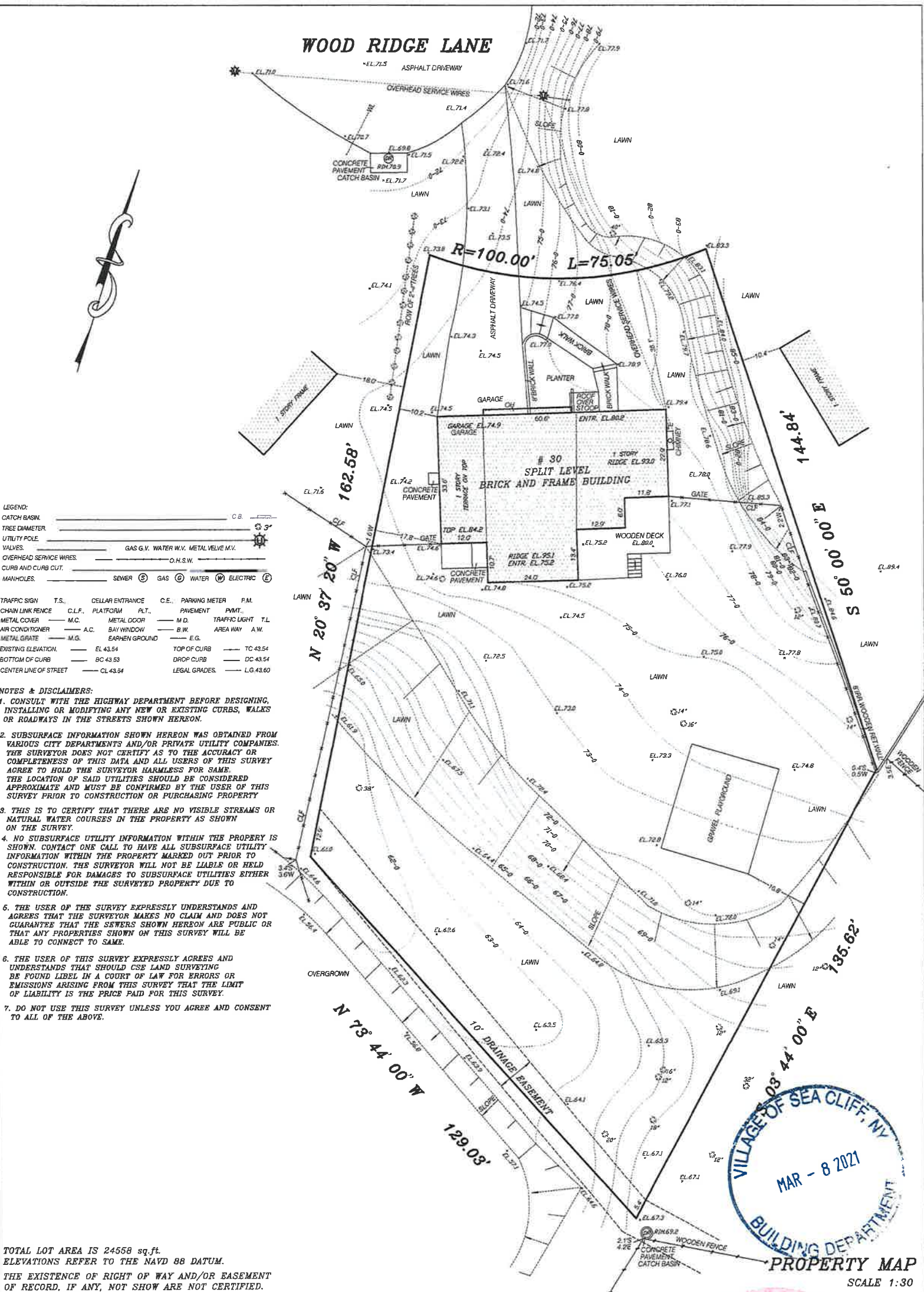
NO.	DATE:	COMMENT: APPLICATION NO.

PROJECT: Residence for: Prestige
 Custom Building & Construction, Inc.
 30 WOODRIDGE LANE
 SEA CLIFF, N.Y. 11579
 Section: 21 Block: 1 Lot: 40
 SHEET TITLE: SECOND FLOOR PLAN

JOB NO.: 2001
 DRAWN BY: BUCWG
 DATE: 1/21/01
 SHEET NUMBER:
A-6

VILLAGE OF SEA CLIFF, N.Y.
 APR 12 2001
 BUILDING DEPARTMENT

WOOD RIDGE LANE



LEGEND:

CATCH BASIN	C.B.
TREE DIAMETER	Ø
UTILITY POLE	○
VALVES	○
OVERHEAD SERVICE WIRES	— O.H.S.W.
CURB AND CURB CUT	—
MANHOLES	SEWER (S) GAS (G) WATER (W) ELECTRIC (E)

TRAFFIC SIGN	T.S.	CELLAR ENTRANCE	C.E.	PARKING METER	P.M.
CHAIN LINK FENCE	C.L.F.	PLATFORM	P.L.T.	PAVEMENT	P.V.M.T.
METAL COVER	M.C.	METAL DOOR	M.D.	TRAFFIC LIGHT	T.L.
AIR CONDITIONER	A.C.	BAY WINDOW	B.W.	AREA WAY	A.W.
METAL GRATE	M.G.	EARTHEN GROUND	E.G.		

EXISTING ELEVATION	EL 43.54	TOP OF CURB	TC 43.54
BOTTOM OF CURB	BC 43.54	DROP CURB	DC 43.54
CENTER LINE OF STREET	CL 43.54	LEGAL GRADES	LG 43.60

- NOTES & DISCLAIMERS:**
- CONSULT WITH THE HIGHWAY DEPARTMENT BEFORE DESIGNING, INSTALLING OR MODIFYING ANY NEW OR EXISTING CURBS, WALKS OR ROADWAYS IN THE STREETS SHOWN HEREON.
 - SUBSURFACE INFORMATION SHOWN HEREON WAS OBTAINED FROM VARIOUS CITY DEPARTMENTS AND/OR PRIVATE UTILITY COMPANIES. THE SURVEYOR DOES NOT CERTIFY AS TO THE ACCURACY OR COMPLETENESS OF THIS DATA AND ALL USERS OF THIS SURVEY AGREE TO HOLD THE SURVEYOR HARMLESS FOR SAME. THE LOCATION OF SAID UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND MUST BE CONFIRMED BY THE USER OF THIS SURVEY PRIOR TO CONSTRUCTION OR PURCHASING PROPERTY.
 - THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS OR NATURAL WATER COURSES IN THE PROPERTY AS SHOWN ON THE SURVEY.
 - NO SUBSURFACE UTILITY INFORMATION WITHIN THE PROPERTY IS SHOWN. CONTACT ONE CALL TO HAVE ALL SUBSURFACE UTILITY INFORMATION WITHIN THE PROPERTY MARKED OUT PRIOR TO CONSTRUCTION. THE SURVEYOR WILL NOT BE LIABLE OR HELD RESPONSIBLE FOR DAMAGES TO SUBSURFACE UTILITIES EITHER WITHIN OR OUTSIDE THE SURVEYED PROPERTY DUE TO CONSTRUCTION.
 - THE USER OF THIS SURVEY EXPRESSLY UNDERSTANDS AND AGREES THAT THE SURVEYOR MAKES NO CLAIM AND DOES NOT GUARANTEE THAT THE SEWERS SHOWN HEREON ARE PUBLIC OR THAT ANY PROPERTIES SHOWN ON THIS SURVEY WILL BE ABLE TO CONNECT TO SAME.
 - THE USER OF THIS SURVEY EXPRESSLY AGREES AND UNDERSTANDS THAT SHOULD CSE LAND SURVEYING BE FOUND LIABLE IN A COURT OF LAW FOR ERRORS OR EMISSIONS ARISING FROM THIS SURVEY THAT THE LIMIT OF LIABILITY IS THE PRICE PAID FOR THIS SURVEY.
 - DO NOT USE THIS SURVEY UNLESS YOU AGREE AND CONSENT TO ALL OF THE ABOVE.

TOTAL LOT AREA IS 24558 sq.ft.
 ELEVATIONS REFER TO THE NAVD 88 DATUM.
 THE EXISTENCE OF RIGHT OF WAY AND/OR EASEMENT OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.



NOTE:

- UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.
- COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
- CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL, AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.

CERTIFIED TO:
 DEPARTMENT OF BUILDINGS

CSE CONSTRUCTION
 LAND SURVEYING
 61-51 DRY HARBOR RD.
 MIDDLE VILLAGE NY 11379
 TELEPHONE (347) 981-8435
 FAX (347) 730-6691
 WWW.CSESUWALA.COM

licensed in NY and NJ
 SEA CLIFF
 TOWN OF OYSTER BAY
 COUNTY OF NASSAU
 STATE OF NEW YORK
 TAX MAP
 SECTION 21
 BLOCK L
 LOT 40

DATE: APRIL 26, 2019
 CSE 19034

 050569
 LAND SURVEYOR
 ARKADIUSZ JUSIEGA, PLS.
 NEW YORK LICENSE 050569-1

SCALE 1:30

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Jeremy Ecker			
Name of Action or Project: Ecker Family Residence			
Project Location (describe, and attach a location map): 30 Woodridge Lane Sea Cliff, N.Y. 11579			
Brief Description of Proposed Action: Construction of new two story single family home with in-ground pool and patio			
Name of Applicant or Sponsor: Jeremy Ecker		Telephone: (718) 570-9187	
		E-Mail: Jeremy@resteasypest.com	
Address: 30 Woodridge Lane			
City/PO: Sea Cliff		State: New York	Zip Code: 11579
1. <u>Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</u>			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. <u>Does the proposed action require a permit, approval or funding from any other governmental Agency?</u>			NO
If Yes, list agency(s) name and permit or approval: Building permits required from the Village of Sea Cliff			YES
3.a. <u>Total acreage of the site of the proposed action?</u>		0.563 acres	
b. <u>Total acreage to be physically disturbed?</u>		0.462 acres	
c. <u>Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?</u>		0.563 acres	
4. <u>Check all land uses that occur on, adjoining and near the proposed action</u>			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5.	Is the proposed action,			
a.	<u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	<u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	<u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
7.	<u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u> If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
8.	a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
	b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9.	<u>Does the proposed action meet or exceed the state energy code requirements?</u> If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
10.	<u>Will the proposed action connect to an existing public/private water supply?</u> If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
11.	<u>Will the proposed action connect to existing wastewater utilities?</u> If No, describe method for providing wastewater treatment: _____ On site septic system will be installed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
12.	a. <u>Does the site contain a structure that is listed on either the State or National Register of Historic Places?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
	b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13.	a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14.	<u>Identify the typical habitat types that occur on, or are likely to be found on the project site.</u> Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15.	<u>Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
16.	<u>Is the project site located in the 100 year flood plain?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	NO YES
17.	<u>Will the proposed action create storm water discharge, either from point or non-point sources?</u> If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NO YES
	b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Jeremy Ecker</u> Date: <u>3/25/2021</u></p> <p>Signature: <u></u></p>		



SEA CLIFF, NY
MAR 31 2021
BUILDING DEPARTMENT

JALAYER SAEID
OR CURRENT OWMER
34 WOOD RIDGE LN
SEA CLIFF NEW YORK 11579

~~NETCHIRINA~~ John Fischer
OR CURRENT OWMER
5 BRYANT AVE
SEA CLIFF, NEW YORK 11579

KAELIN JAMES F & RUTH
OR CURRENT OWMER
10 ORCHARD LN
SEA CLIFF, NEW YORK 11579

BRAUN-SCHEINER SUZANNE
OR CURRENT OWMER
3 ORCHARD LN
SEA CLIFF, NEW YORK 11579

MIRABITO MARY
OR CURRENT OWMER
5 ORCHARD LN
SEA CLIFF, NEW YORK 11579

RUSSIAN CHURCH OF OUR LADY OF KAZAN
OR CURRENT OWMER
~~BRYANT AVE~~ Willowshore Rd.
SEA CLIFF, NEW YORK 11579

~~ENDO YOSHITSUGU~~ Keith Ross
OR CURRENT OWMER
24 WOOD RIDGE LN
SEA CLIFF, NEW YORK 11579

GIANFORTUNE JOHN & SUSAN
OR CURRENT OWMER
26 WOOD RIDGE LN
SEA CLIFF, NEW YORK 11579

~~WAGNER SAMUEL & SYLVIA~~ Anna McLaughlin
OR CURRENT OWMER
32 WOOD RIDGE LN
SEA CLIFF, NEW YORK 11579

~~ECKER JEREMY & NICOLE~~
OR CURRENT OWMER
30 WOOD RIDGE LN
SEA CLIFF, NEW YORK 11579

~~NORRIS CHRISTOPHER & EVA~~ Justin Henneman
OR CURRENT OWMER
28 WOOD RIDGE LN
SEA CLIFF, NEW YORK 11579

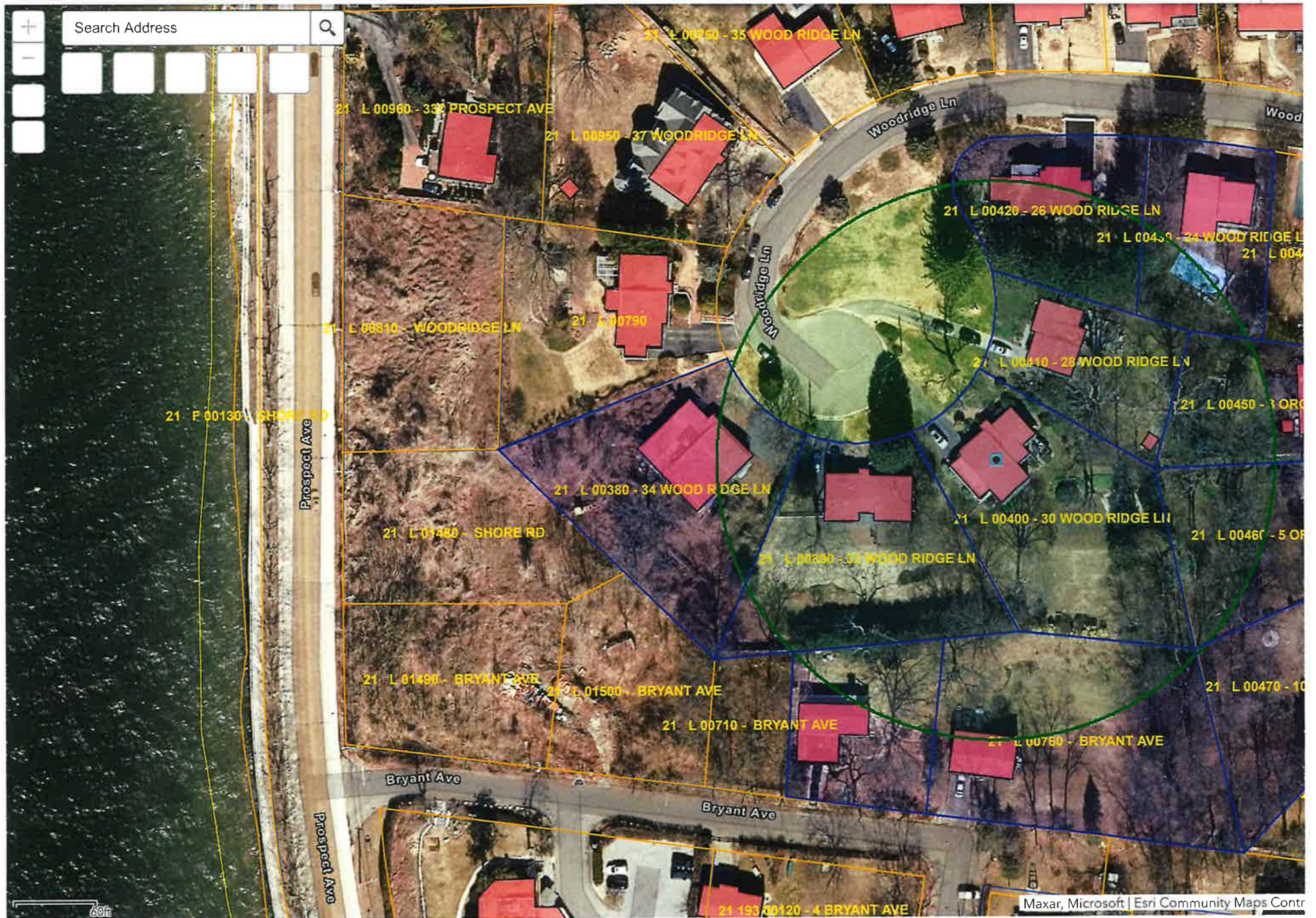
Robert + Ingeborg Treiling
39 Woodridge La.
Sea Cliff NY 11579

Daniel Mendelsohn
37 Woodridge La
Sea Cliff NY 11579

Athanasios + Diana Gardianos
~~150 1/1 4/1/2021 1:37:40 PM~~
9 Orchard Lane
Sea cliff NY 11579

Ecker -

30 Woodridge La.



NC CLERK



NASSAU COUNTY CLERK'S OFFICE
ENDORSEMENT COVER PAGE

Recorded Date: 06-26-2014
Recorded Time: 2:39:23 p

Liber Book: D 13089
Pages From: 757
To: 761

Record and Return To:
ROBIN M QUITKO ESQ
LANGIONE CATTERSON & LOFRUMENTO
377 OAK STREET
STE 101
GARDEN CITY, NY 11530

Control
Number: 1700
Ref #: RE 020960
Doc Type: D01 DEED

Location:	Section	Block	Lot	Unit
OYSTER BAY (2824)	0021	0000L-00	00040	

Consideration Amount: 790,000.00

	Taxes Total	.00
KAL001	Recording Totals	345.00
	Total Payment	345.00

THIS PAGE IS NOW PART OF THE INSTRUMENT AND SHOULD NOT BE REMOVED
MAUREEN O'CONNELL
COUNTY CLERK



2014062601700

DOI
5
790,000
pre-pd
MC CLERK

BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR'S ACTS (INDIVIDUAL OR CORPORATION)

FORM 8002 (short version), FORM 8007 (long version)

CAUTION: THIS AGREEMENT SHOULD BE PREPARED BY AN ATTORNEY AND REVIEWED BY ATTORNEYS FOR SELLER AND PURCHASER BEFORE SIGNING.

[Signature]
THIS INDENTURE, made ~~May~~ *June 6*, 2014,

BETWEEN FRANCES M. ROESCH of 30 Woodbridge Lane, Sea Cliff, New York 11579 and — ELIZABETH ROESCH RAINSBY of 291 Hicks Street, Brooklyn, New York 11201, as Trustees of the Frances M. Roesch Living Trust u/a/d 11/15/2000, party of the first part, and

JEREMY ECKER and NICOLE ECKER, husband and wife, of 3494 Millburn Avenue, Baldwin, New York, 11510 party of the second part,

Section
21

WITNESSETH, that the party of the first part, in consideration of Seven Hundred Ninety Thousand Dollars and No Cents (\$790,000.00), lawful money of the United States, paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever;

Block
L

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Incorporated Village of Sea Cliff, Town of Oyster Bay, County of Nassau and State of New York, more particularly described in schedule A attached hereto, and being and intending to be the same premises conveyed to the party of the first part by deed dated 1/5/2001 and recorded 1/8/2001 in Liber 11294 page 154; the premises also known as and by 30 Woodbridge Lane, Sea Cliff, New York, and being Section 21, Block L and Lot 45.

Lot
40

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

Frances M. Roesch

Frances M. Roesch

Elizabeth Roesch Rainsby

Elizabeth Roesch Rainsby

IN PRESENCE OF:

[Signature]

STATE OF NEW YORK)
COUNTY OF NASSAU) ss.:
)

On the 3 day of ^{June} ~~May~~, in the year 2014, before me, the undersigned, personally appeared Frances M. Roesch, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individuals, or the person upon behalf of which the individuals acted, executed the instrument.

[Signature]

BRIAN B. BOEHM
Notary Public, State of New York
No. 02BO4644186
Qualified in Nassau County
Commission Expires Feb. 28, 2018

STATE OF NEW YORK)
COUNTY OF NASSAU) ss.:
)

On the 3 day of ^{June} ~~May~~, in the year 2014, before me, the undersigned, personally appeared ~~Frances M. Roesch~~, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individuals, or the person upon behalf of which the individuals acted, executed the instrument.

[Signature]
Elizabeth
Roesch
RAINSBY

[Signature]

BRIAN B. BOEHM
Notary Public, State of New York
No. 02BO4644186
Qualified in Nassau County
Commission Expires Feb. 28, 2018
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DEED

Title No. 597-N-3986

Frances M. Roesch and Elizabeth
Roesch Rainsby, Trustees of the
Frances M. Roesch Living Trust
w/a/d 11/15/2000

Section 21
Block L
Lot 154
County or Town Oyster Bay
Street Address 30 Woodbridge Lane
Sea Cliff, New York 11579

To
Jeremy Ecker and Nicole Ecker

Mark Abstract Corp
42-40 Bell Blvd
Bayside NY 11361
(718) 279-8700

Return By Mail To:

Robin M. Quitko, Esq.
Langione, Catterson & Lofrumento
377 Oak Street, Ste 101
Garden City, New York 11530

Reserve This Space For Use Of Recording Office

*First American Title Insurance Company
Of New York*

Title No. 597-N- 3986

SCHEDULE A

ALL that certain plot, piece or parcel of land with the buildings and improvements thereon erected, situate, lying and being in the Incorporated Village of Sea Cliff, Town of Oyster Bay, County of Nassau and State of New York, known and designated as and by Lot No. 40 on a certain map entitled, "Map of Property, Newell and Daniel at Sea Cliff, made for Meadow Woods Corp., situated at Sea Cliff, Nassau County, NY, surveyed by Charles E. Ward, P.E. & L.S., Great Neck, NY, October 1952," and filed in the Nassau County Clerk's office on February 11, 1953 as map No. 5708, bounded and described as follows:

BEGINNING at a point on the southeasterly side of Wood Ridge Lane, distant 475.58 feet westerly, southerly and southwesterly when measured along the southerly, easterly and southeasterly sides of said Wood Ridge Lane from the westerly end of a curve having a radius of 30 feet and a length of 51.45 feet, which curve connects the southerly side of Wood Ridge Lane with the westerly side of Orchard Lane;

RUNNING THENCE South 50 degrees 00 minutes 00 seconds East, 144.84 feet;

RUNNING THENCE South 3 degrees 44 minutes 00 seconds East, 135.62 feet;

RUNNING THENCE North 73 degrees 44 minutes 00 seconds West, 129.03 feet;

RUNNING THENCE North 20 degrees 37 minutes 20 seconds West, 162.58 feet to the southerly side of Wood Ridge Lane;

RUNNING THENCE easterly and northeasterly along the southerly and southeasterly sides of Wood Ridge lane and on a curve bearing to the left having a radius of 100 feet, a distance of 75.05 feet to the point or place of BEGINNING.

**RECEIVED IN
THIS CONDITION**