



INCORPORATED VILLAGE OF SEA CLIFF

**OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080**

Notice of Review

3/3/21

TO:

PROPERTY OWNER: Sally Davies
PROPERTY ADDRESS: 58 8th Ave
SECTION/ BLOCK/ LOT: 21/89/23

APPLICATION NO: 12292
APPLICATION RECV'D: 3/3/2021
ZONE: Residence B

DESCRIPTION: The applicant proposes to construct a one story 110 SF addition to include a full bath and laundry.

The Proposed Construction does not comply with the following Village of Sea Cliff Code Section(s):

§ 138-508 Minimum setback requirements.

Every part of a principal building shall be set back from the front property line of the lot upon which it is situated at least 25 feet.

The applicant proposes to construct a one story 110 SF addition 16.7ft. from the front property line where 25ft. is the required minimum.

§ 138-1102 Nonconforming building.

[Amended 5-11-2020 by L.L. No. 4-2020]

A. A building that is conforming in use, but does not conform to the size, area, setback, parking or other requirement of this chapter may not be altered in any manner that will result in an increase of such nonconformity.

This property has the following pre existing non conformities

- Pre-existing non-conforming lot size 7,500 SF where 10,000 SF is required.
- Pre-existing non-conforming lot width on Eighth Avenue 50' where 100' is required.
- Pre-existing non-conforming lot width at setback on Eighth Avenue 50' where 100' is required.
- Pre-existing non-conforming side yard 4' where 15' is required and sky exposure.
- Pre existing none conforming front yard on Irving Place 9.78' where 25' is required and sky exposure.
- Pre-existing non-conforming sideyard setback 5.8' where 10' is required for existing detached garage.

**Shane Dommin
Village of Sea Cliff Building Department**

Note; If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.



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OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT

300 SEA CLIFF AVE, P.O. BOX 340, SEA CLIFF, NY 11579 TEL 516-671-0080 FAX 516-671-6508

BUILDING PERMIT

APPLICATION ID # 3/8/21 APPLICATION DATE 3/1/21 PERMIT # _____

PROPERTY ADDRESS: 58 EIGHTH AVE SECT: 21 BLOCK 89 LOT 23

Owner: SARAH DAVIES
Address: 58 EIGHTH AVENUE City: SEA CLIFF State: N.Y. Zip: 11579
Phone: _____ Cell: _____ Email: _____

Applicant: (If applicant is different from owner state relationship to owner) AS ABOVE
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Architect: JAMES CARBALLAL
Address: 80 LAFAYETTE AVE. City: SEA CLIFF State: N.Y. Zip: 11579
Phone: 516 674 3936 Cell: 516 375 1728 Email: JAMESCARBALLAL@GMAIL.COM

Contractor:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Plumber:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Electrician:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Other/Mechanical:
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

A/C, Boiler, etc Model#
A/C, Boiler, etc Model#



PROPOSED WORK: Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

ONE STORY ADDITION AT REAR 110 SF TO INCLUDE FULL BATH & LAUNDRY



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BUILDING PERMIT

Cost of Improvement: \$

Owner: Depos and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.

Owner Signature: Sarah Davies

Owner Signature: _____

Date: 3/8/2021 Jennifer G Notary: JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

Contractors must submit proof of current insurance (C-105.2 or U-26.3 for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit

OFFICIAL USE

	FEES	\$150 pd 3/8/21
Application Fee	\$	75 pd
Permit Fees		
Building		
Plumbing		
Electrical		
Mechanical		
Certificate		
Other		
Total Permit Fees	\$	<input type="text"/>

REQUIRED CERTIFICATES

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Approved by _____

Examined for approval on _____

New State Law Requires: Site visits by the Building Department prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the Building Department.

Village Code Requires: Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)

ZONING BOARD OF APPEALS
PLANNING BOARD _____ (check one)

-----x
IN THE MATTER OF THE APPLICATION OF

SARAH DAVES

APPLICATION

Village of Sea Cliff.
-----x

PROPOSING TO CONSTRUCT ONE STORY 110 SF ADDITION
TO INCLUDE FULL BATH AND LAUNDRY.

1. Name of applicant: SARAH DAVES

2. Applicant's address: 58 EIGHTH AVENUE
SEA CLIFF NY. 11579

3. If the applicant is not an owner of the property which is the
subject of this application, state the relationship of the
applicant to the owner(s):

4. The property which is the subject of this application is
located at: 58 EIGHTH AVENUE, Village of
Sea Cliff, N. Y. and is also known as Section 21, Block 89,
Lot(s) 23 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the
property (if applicant is not the sole owner) is:

6. The property is located in the RES-B zoning district of the Village of Sea Cliff.

7. The subject property is located on the NORTH side of EIGHTH AVENUE (street).

8. The date on which the owner(s) acquired the property was _____.

9. The approximate dimensions of the property are 50x150 feet by _____ feet, and the total acreage of property is .18 acres.

10. The property is presently used for ONE FAMILY RESIDENCE.

11. Are there existing buildings on the property? YES of _____.

12. Are there any outstanding village taxes on the property? No If so, for what years? _____.

13. The applicant or owner(s) wish to make use of the property for the purpose of: NO CHANGE - SINGLE FAMILY DWELLING

14. The Building Department of the Village of Sea Cliff denied an application for a building permit on 3/3/21

15. The proposed construction use of the property does not comply with the following sections of the Village Code: _____

138-508, 138-1102

16. This is an application for:

an appeal

a variance

a special permit

other (describe): _____

17. Description of the problem, or reasons for this application, that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

THERE IS AN EXTREMELY SMALL AREA
AT THE CENTER OF THE LOT (10' WIDE) THAT
IS INSIDE THE REQUIRED SETBACK LINES THIS
IS DUE TO THE EXISTING NON CONFORMING LOT
WIDTH OF 50' WHERE 100' IS REQUIRED

18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? No If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application? No
If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.
20. Are there any outstanding violation notices affecting the subject premises? No
21. Are there any pending court proceedings involving the subject premises? No
22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

Name of applicant: SARAH DAVIES
Signature of applicant: Sarah J. Davies
Title of signatory: OWNER
Date: March 8, 2021

AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the _____, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

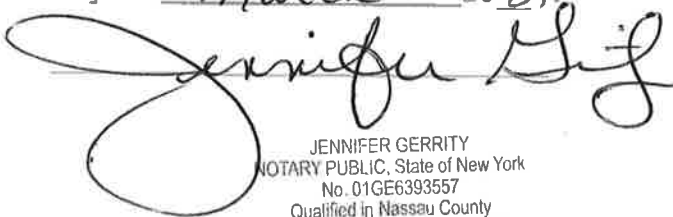
SARA DAVIES

Print Name

Sarah J. Davies

Signature

Sworn to before me this 8th
day of March 2021.



JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

AFFIDAVIT OF OWNER(S)

(To be completed only if the applicant is not the sole owner)
(All owners must sign either as owner or applicant)

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

SARA DAVIES being duly sworn, deposes and says that (s)he is the owner of the property known as 58 EIGHTH AVE in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.

Sarah J. Davies

Sworn to before me on this 8th day of March 2021.

Jennifer Gerrity

JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

_____ being duly sworn, deposes and says that (s)he is the owner of the property known as _____ in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.

Sworn to before me on this _____ day of _____ 20__.

ZONING BOARD OF APPEALS X
PLANNING BOARD _____ (check one)
VILLAGE OF SEA CLIFF

In the Matter of the Application of

DISCLOSURE
AFFIDAVIT
General Municipal Law
Section 809

SARAH DAVIES

STATE OF NEW YORK) COUNTY OF NASSAU)

ss: SARAH DAVIES, being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
none			

Sarah J. Davies
Signature

Sworn to before me this 8th
day of March 2021.

Jennifer Gerrity

JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023



Incorporated Village of Sea Cliff
Office of the Superintendent of Buildings
Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

Homeowner: Sarah J. Daw 121
Date: March 8, 2021

NAILING SCHEDULE	
JOINT DESCRIPTION	NUMBER OF NAILS AND NAIL SPACING
ROOF FRAMING	
RAFTER TO TOP PLATE (TOE NAILED)	3 - 8d NAILS PER RAFTER
CEILING JOIST TO TOP PLATE (TOE NAILED)	3 - 8d NAILS PER CEILING JOIST
CEILING JOIST TO PARALLEL RAFTERS (FACE NAILED)	8 - 16d NAILS EACH LAP
CEILING JOIST LAPS OVER PARTITIONS (FACE NAILED)	8 - 16d NAILS EACH LAP
COLLAR TIE TO RAFTER (FACE NAILED)	4 - 10d NAILS PER TIE END
BLOCKING TO RAFTER (TOE NAILED)	2 - 8d NAILS EACH END
RIM BOARD TO RAFTER (END NAILED)	2 - 16d NAILS EACH END
WALL FRAMING	
TOP PLATE TO TOP PLATE (FACE NAILED)	2 - 16d NAILS PER FOOT
TOP PLATE TO INTERSECTIONS (FACE NAILED)	4 - 16d NAILS JOINTS - EACH SIDE
STUD TO STUD (FACE NAILED)	2 - 16d NAILS 24" O.C.
HEADER TO HEADER (FACE NAILED)	16d NAIL 16" OC ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END NAILED)	2 - 16d NAILS PER 2" X 4" STUD 3 - 16d NAILS PER 2" X 6" STUD 4 - 16d NAILS PER 2" X 8" STUD
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST OR BLOCKING (FACE NAILED)	2 - 16d NAILS PER FOOT
FLOOR FRAMING	
JOIST TO SILL, TOP PLATE OR GIRDER (TOE NAILED)	4 - 8d NAILS PER JOIST
BRIDGING TO JOIST (TOE NAILED)	2 - 8d NAILS PER EACH END
BLOCKING TO JOIST (TOE NAILED)	2 - 8d NAILS PER EACH END
BLOCKING TO SILL OR TOP PLATE (TOE NAILED)	3 - 16d NAILS EACH BLOCK
LEDGER STRIP TO BEAM (FACE NAILED)	3 - 16d NAILS EACH JOIST
JOIST ON LEDGER TO BEAM (TOE NAILED)	3 - 8d NAILS PER JOIST
BAND JOIST TO JOIST (END NAILED)	3 - 16d NAILS EACH JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE NAILED)	2 - 16d NAILS PER FOOT
ROOF SHEATHING	
STRUCTURAL PANELS	8d NAILS @ 6" OC ON PANEL EDGES
DIAGONAL BOARD SHEATHING 1" X 6" OR 1" X 8" 1" X 10" OR WIDER	8d NAILS @ 12" OC IN PANEL FIELD 2 - 8d NAILS PER SUPPORT 3 - 8d NAILS PER SUPPORT
CEILING SHEATHING	
GYPSUM WALLBOARD	5d COOLERS 7" EDGE/ 10" IN FIELD
WALL SHEATHING	
STRUCTURAL PANELS	8d NAILS 6" EDGE/ 12" IN FIELD
FIBERBOARD PANELS 1/2" 25/32"	6d NAILS 3" EDGE/ 6" IN FIELD 8d NAILS 3" EDGE/ 6" IN FIELD
GYPSUM WALLBOARD	5d COOLERS 7" EDGE/ 10" IN FIELD
HARDBOARD	8d NAILS 6" EDGE/ 12" IN FIELD
PARTICLEBOARD PANELS	8d NAILS 6" EDGE/ 12" IN FIELD
DIAGONAL BOARD SHEATHING 1" X 6" OR 1" X 8" 1" X 10" OR WIDER	2 - 8d NAILS PER SUPPORT 3 - 8d NAILS PER SUPPORT
FLOOR SHEATHING	
STRUCTURAL PANELS 1" OR LESS GREATER THAN 1"	8d NAILS 6" EDGE/ 12" IN FIELD 10d NAILS 6" EDGE/ 6" IN FIELD
DIAGONAL BOARD SHEATHING 1" X 6" OR 1" X 8" 1" X 10" OR WIDER	2 - 8d NAILS PER SUPPORT 3 - 8d NAILS PER SUPPORT

NAILING NOTES:

- NAILING REQUIREMENTS ARE BASED ON WALL SHEATHING NAILED 6" ON CENTER AT THE PANEL EDGE. IF WALL SHEATHING IS NAILED 3" ON CENTER AT THE PANEL EDGE TO OBTAIN HIGHER SHEAR CAPACITIES, NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE DOUBLED, OR ALTERNATE CONNECTORS, SUCH AS SHEAR PLATES, SHALL BE USED TO MAINTAIN THE LOAD PATH.
- WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO 1 - 16d PER FOOT.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE BY				WINTER DESIGN TEMP.	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
20 PSF	110	C	SEVERE	3'-0"	MODERATE TO HEAVY	SLIGHT TO MODERATE	13°	YES	NO

REFERENCE STANDARDS:

NEW YORK STATE 2020 CODES (RC, BC, PC, MC, FGC, FC, FMC, EBC,)
 NEW YORK STATE 2020 ECCCNY'S AND ASHRAE 90.1-2016, AS AMENDED BY 19 NYCRR PART 1240.
 THE AMERICAN FOREST AND PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY CONSTRUCTION (2001 SBC HIGH WIND EDITION).

DESIGN LOADS:

THE DESIGN IS BASED ON THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS AS PER TABLE R301.5:

EXTERIOR BALCONIES	60 PSF
DECKS	40 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
STAIRS	40 PSF
GUARDRAILS AND HANDRAILS	200 PSF
ATTICS WITH STORAGE	20 PSF
ATTICS WITHOUT STORAGE	10 PSF
PASSENGER VEHICLE GARAGES	50 PSF

AS PER SECTION R301.4 DEAD LOADS SHALL BE THE ACTUAL WEIGHT OF MATERIALS AND CONSTRUCTION. AS PER TABLE R401.4.1 THE ASSUMED LOAD BEARING VALUE OF THE SOIL IS 2,000 PSF (POUNDS PER SQUARE FOOT).

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS SHALL NOT EXCEED VALUES INDICATED IN TABLE R301.7.

GLAZING NOTE:

ALL GLAZING SHALL BE PROTECTED AS REQUIRED BY SECTION R301.2.1.2 OR THE CONTRACTOR SHALL PROVIDE ON SITE 1/2" THICK MINIMUM STRUCTURAL PLYWOOD PANELS PRE-CUT TO SIZE FOR EACH WINDOW WITH A MAXIMUM SPAN OF 8'-0". PANELS SHALL BE PRE-DRILLED AND INCLUDE ATTACHMENT HARDWARE AS REQUIRED BY TABLE R301.2.1.2.

SPECIFICATIONS:

GENERAL REQUIREMENTS:

- NO CONSTRUCTION OR DEMOLITION WORK TO COMMENCE BEFORE BUILDING DEPARTMENT HAVING JURISDICTION ISSUES A BUILDING PERMIT.
- THE DESIGNER HAS NOT BEEN RETAINED FOR ANY CONSTRUCTION REVIEW AND/OR INSPECTION. HIS RESPONSIBILITY IS LIMITED TO THE CONTENTS OF THESE PLANS ONLY.
- ALL WORK SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE (2020 EDITION) AND THE NEW YORK STATE SUPPLEMENTS. AND SHALL CONFORM TO ALL THE RECOMMENDATIONS AND REQUIREMENTS OF ANY OTHER AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN AND ARRANGE FOR ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, TESTS AND SURVEYS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING CONSTRUCTION AND SHALL NOTIFY THE DESIGNER OF ANY AMBIGUITIES OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE BEFORE OR DURING CONSTRUCTION AS TO THE INTENT OR DETAILS OF THE DRAWINGS, THE CONTRACTOR SHALL CALL THE DESIGNER FOR CLARIFICATION AND/OR INSTRUCTIONS. IF THE CONTRACTOR FAILS TO FOLLOW THE ABOVE PROCEDURE, HE SHALL ASSUME THE RESPONSIBILITY FOR THE CONSEQUENCE OF HIS ACTIONS AND/OR DECISIONS.
- CONTRACTOR IS REQUIRED TO PROVIDE HOMEOWNER WITH ALL REQUIRED LICENSES, INSURANCE CERTIFICATES AND INSURANCE COVERAGES.
- CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS AND ACTIONS TO SAFEGUARD THE RESIDENCE AND ITS CONTENTS FROM THE ELEMENTS DURING CONSTRUCTION.
- CONTRACTOR TO FOLLOW ALL MANUFACTURERS SPECS FOR THE INSTALLATION OF EQUIPMENT, PRODUCTS AND SYSTEM EQUIPMENT.
- THE OWNER SHALL ARRANGE FOR THE SUPERVISION OF THE CONSTRUCTION WORK TO INSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- NO DRAWINGS SHALL BE SCALED; WRITTEN DIMENSION SHALL BE USED ONLY.
- CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING AREAS LEFT EXPOSED AND/OR DAMAGED DUE TO THIS ADDITIONAL/ALTERATION WITH SIMILAR MATERIALS OR AS DIRECTED BY OWNER.

CONCRETE:

- ALL FOUNDATIONS SHALL REST ON UNDISTURBED SOIL OF 2 TONS PER SQUARE FOOT BEARING CAPACITY; CONTRACTOR SHALL HAVE THE LEVEL OF BEARING STRATA VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS AND RECOMMENDATIONS OF ACI-301-96 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (FC) = 3,000 P.S.I.; ALL EXPOSED SLABS, GARAGE SLABS AND STEPS SHALL BE 3500 PSI AIR-ENTRAINED. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60. ALL FOUNDATIONS SHALL BE ADEQUATELY BRACED PRIOR TO BACKFILLING.

MASONRY:

- ALL CONCRETE BLOCK SHALL CONFORM TO ASTM C-90 FOR GRADE 'N' UNITS WITH TYPE 'M' MORTAR. ALL MASONRY WORK SHALL CONFORM TO ACI 531-74, PROVIDE DURAL TRUSS TYPE REINFORCING EVERY OTHER COURSE (16" O.C.). PROVIDE MASONRY ANCHORS AT 16" O.C. AT ALL COLUMN, SPANDREL BEAMS, AND LINES OF BRIDGING.

METALS:

- ALL STEEL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE AISC "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS." STEEL SHALL CONFORM TO ASTM A-36 AND A-501. ALL CONNECTIONS SHALL USE A325 HS BOLTS OR ETOXX WELDS. STEEL JOISTS MANUFACTURERS DESIGN AND ERECTION SHALL CONFORM TO SJI SPECIFICATIONS.

WOOD & PLASTICS:

- ALL LUMBER FOR JOISTS AND RAFTERS SHALL BE DOUGLAS FIR-LARCH #2 HAVING A FIBER STRESS OF 875 P.S.I., GRADE MARKED PRIOR TO DELIVERY TO JOB SITE, AND A MINIMUM BEARING OF 1 1/2" ON WOOD OR METAL AND A MINIMUM BEARING OF 3" ON MASONRY OR CONCRETE UNLESS OTHERWISE NOTED.
- MICROLAM GIRDERS/ HEADERS SHALL BE LAMINATED VENEER LUMBER WITH E=2,000,000 PSI AND Fb=2,800 PSI, AS MANUFACTURED BY TRUS-JOIST McMILLAN.
- ALL HEADERS TO BE (2) 2" X 12" UNLESS OTHERWISE NOTED
- PROVIDE AND INSTALL ALL MOLDINGS, SILLS, STOOLS AND TRIM AROUND ALL WINDOWS AND DOORS AS REQUIRED.
- DOUBLE ALL BEAMS AND JOISTS UNDER PARALLEL PARTITIONS AND AROUND OPENINGS IN FLOORS AND ROOFS.
- PLYWOOD SUB-FLOORING SHALL BE INSTALLED AS PER R503 OF THE RCNYS.
- CONSTRUCT DOUBLE HEADERS AND TRIMMERS AROUND ALL STAIR AND SKYLIGHT OPENINGS.
- ALL LUMBER SHALL BE PROTECTED AGAINST DECAY AS PER SECTION R317. PROTECTION AGAINST TERMITES SHALL BE AS PER R318.
- PROVIDE SIMPSON STRONG-TIE JOIST HANGERS AT ALL FLUSH HEADER CONDITIONS.

THERMAL & MOISTURE PROTECTION:

- ALL INSULATION WHICH IS CAPABLE OF ABSORBING WATER SHALL BE PROTECTED BY A VAPOR BARRIER LOCATED ON THE WINTER WARM SIDE OF THE INSULATION. INSULATION SHALL BE INSTALLED IN SUCH A MANNER THAT PROVIDES CONTINUITY OF INSULATION AT PLATE LINES, SILL LINES, AND CORNERS.
- ALL AREAS WITHIN BATHROOM TO BE WATER RESISTANT GYPSUM BOARD AS PER CODE UNLESS OTHERWISE NOTED.
- INSULATE ALL PIPES AND DUCTS AS REQUIRED BY CODE.
- CAULK AND FINISH ALL WINDOWS AND DOORS AS REQUIRED.
- INSTALL METAL FLASHING AROUND ALL ROOF PENETRATIONS.

DOORS & WINDOWS:

- ALL WINDOWS, AS SELECTED BY OWNER, SHALL HAVE HIGH PERFORMANCE INSULATED GLASS.
- ALL WINDOWS THAT SERVE AS EMERGENCY EGRESS MUST COMPLY WITH R310 OF THE RCNYS.
- GLAZING IN DOORS, SHOWER STALLS, FIXED PANELS AND BATHTUB ENCLOSURES SHALL COMPLY WITH R303 OF THE RCNYS.

FINISHES:

- ALL COLORS AND FINISHES ETC. SHALL BE SELECTED BY OWNER.
- AS PER SECTION R302.9 WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

MECHANICAL:

- ALL PLUMBING WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE CHAPTERS 20 THROUGH 32 INCLUSIVE AND ALL APPLICABLE LOCAL CODES AND HEALTH DEPARTMENT REQUIREMENTS.

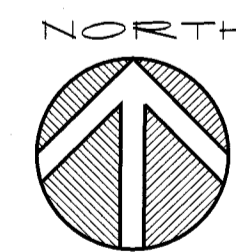
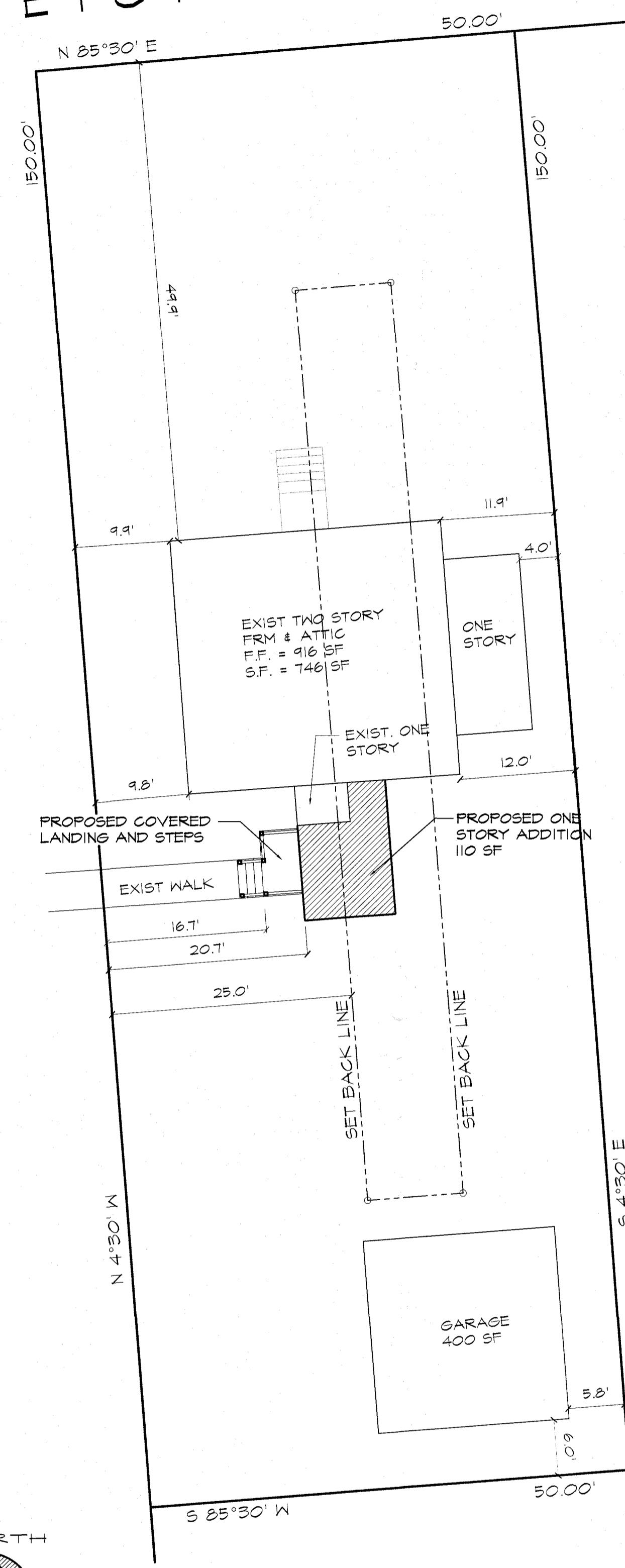
ELECTRICAL:

- ALL ELECTRIC WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE CHAPTERS 33 THROUGH 40 INCLUSIVE.
- UNDERWRITER'S CERTIFICATE SHALL BE OBTAINED AND PRESENTED TO THE OWNER UPON COMPLETION OF ALL ELECTRICAL WORK.
- PROVIDE SINGLE-STATION SMOKE-DETECTING ALARM DEVICES ON EACH FLOOR AND ONE PER BEDROOM AS PER R314 OF THE RCNYS.
- PROVIDE CARBON MONOXIDE DETECTOR ON EACH FLOOR AS PER NYS BUILDING CODE.

WINDOW NOTES:

- ALL WINDOWS TO BE AS SPECIFIED ON PLANS. SEE WINDOW SCHEDULE FOR MODEL NUMBERS AND GRILLE CONFIGURATIONS
 - PROVIDE SCREENS ON ALL WINDOWS
 - COLOR OF WINDOW UNITS AS PER OWNER
 - GLAZING ON ALL WINDOWS TO BE DOUBLE-PANE INSULATING HIGH-PERFORMANCE.
 - PER SECTION 402.1.2 MAXIMUM U VALUES FOR PENETRATION SHALL BE .35 FOR SKYLIGHTS .55
 - PER SECTION 402.1.2 MAXIMUM SHGC VALUES FOR PENETRATION AND SKYLIGHTS = .40
- PREFABRICATED STRUCTURAL COMPONENTS:**
- CONTRACTOR SHALL AFFIX A SIGN AT THE ELECTRICAL METER PER BUILDING CODE STANDARDS IDENTIFYING THE BUILDING CONSTRUCTION TYPE AND GENERAL LOCATION OF ALL PREFABRICATED STRUCTURAL COMPONENTS, LAMINATED BEAMS, AND PRE-ENGINEERED WOOD CONSTRUCTION.

EIGHTH AVE



SITE PLAN

SCALE: 1"=10'

SECTION: 21 BLOCK: 89 LOT: 23

DRAWN FROM SURVEY PROVIDED BY OWNER; NEW YORK; DATED 8.4.1952
 OWNER - SARAH, DAVIES 58 EIGHTH AVE, SEA CLIFF, NY 11579

SEA CLIFF ZONE: RES B

	EXISTING	PROPOSED	TOTAL	ALLOWABLE
LOT AREA	7500 SF	NO CHANGE	7500 SF	
FIRST FL. (FAR-floor area)	916 s.f.	110 s.f.	1026 s.f.	
GARAGE (FAR-floor area)	400 s.f.	NO CHANGE	400 s.f.	
REAR LANDING/TERRACE	0 s.f.	27 s.f.	27 s.f.	
SECOND FL. (FAR-floor area)	746 s.f.	NO CHANGE	746 s.f.	
Total FAR floor area	2,062 s.f.	110 s.f.	2,172 s.f. (29%)	2,376 s.f. (31%)
LOT COVERAGE:	1316 s.f. (17.5%)	137 s.f.	1,453 s.f. (19.3%)	2,250 s.f. (30%)

FOR PRELIMINARY REVIEW 3-1-21

JAMES T. CARBALLAL
 ARCHITECT
 TELEPHONE: 516.674.9336
 80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:
 AS NOTED

DATE:
 12-31-20

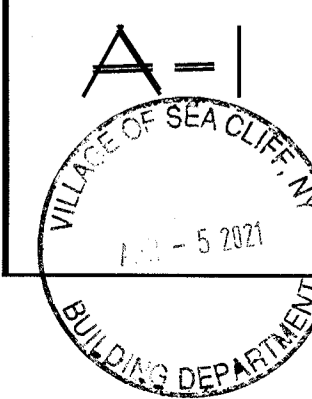
DRAWN BY:
 JTC

REVISIONS:

DRAWING:
SITE PLAN & NOTES

DAVIES RESIDENCE
 58 EIGHTH AVENUE, SEA CLIFF, NY 11579

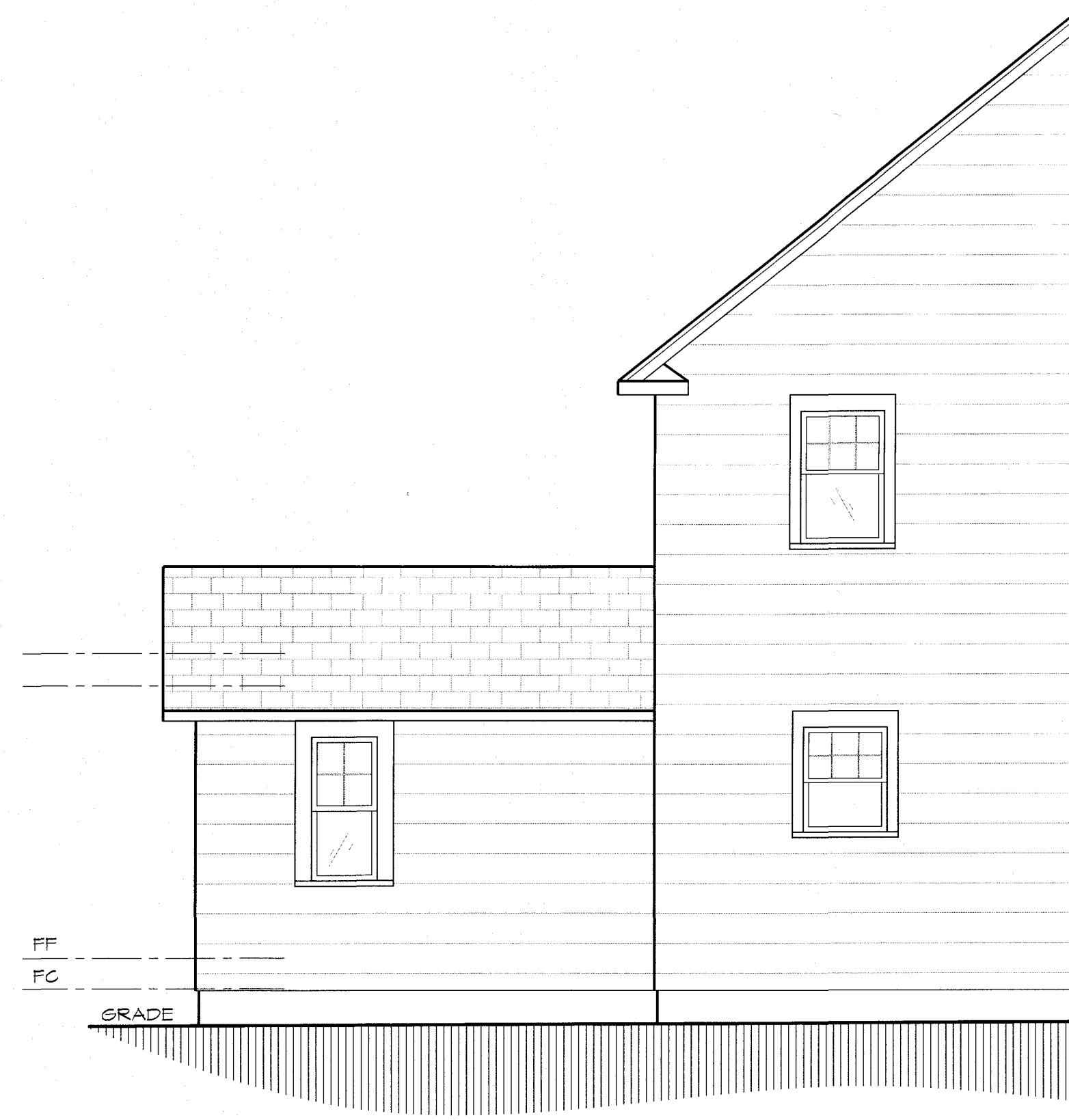
DWG. NO.





RIGHT SIDE ELEVATION

SCALE: 1/4"=1'



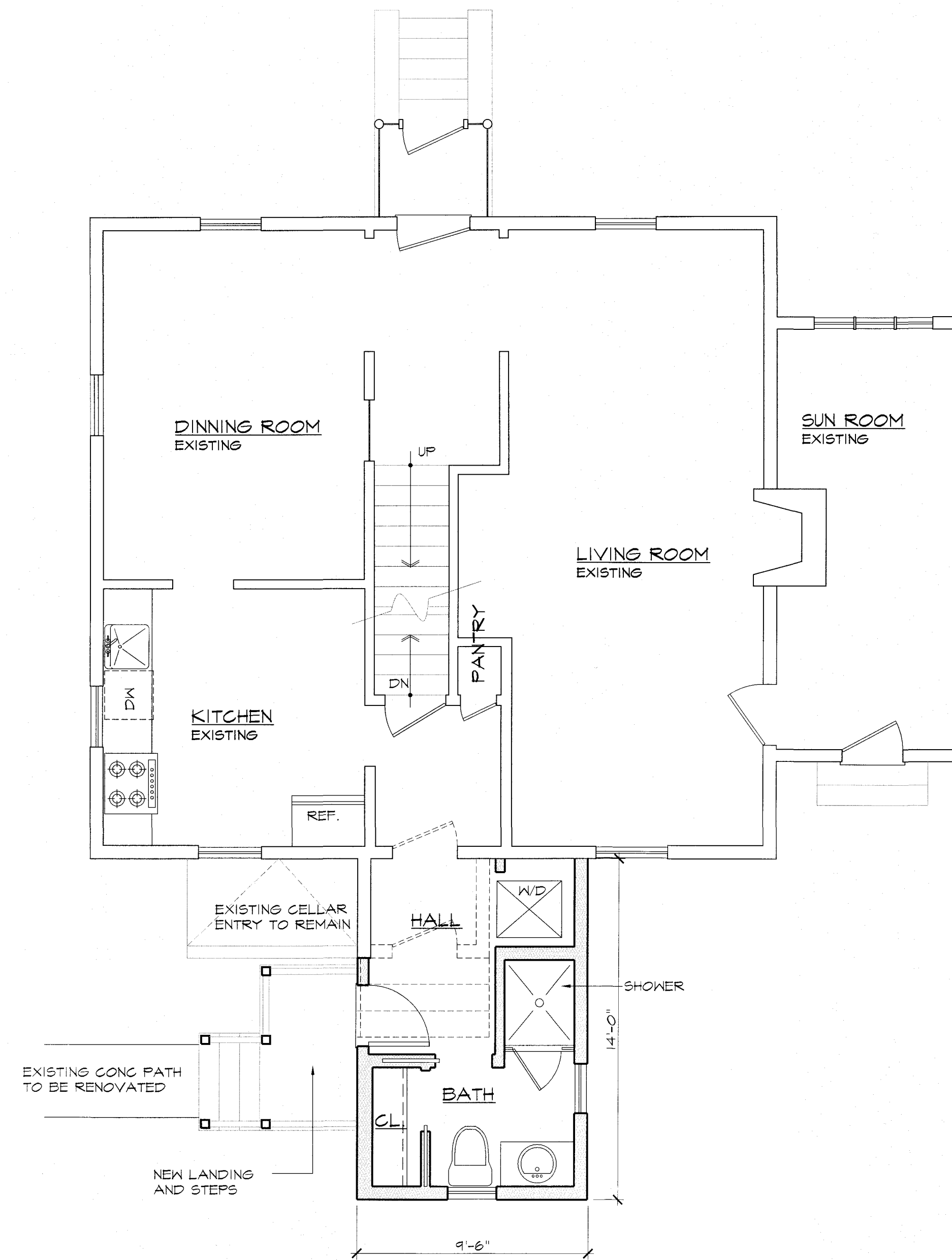
LEFT SIDE ELEVATION

SCALE: 1/4"=1'



REAR ELEVATION

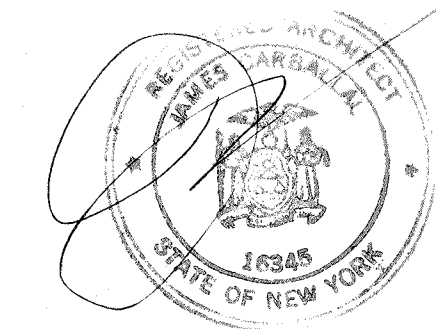
SCALE: 1/4"=1'



FIRST FLOOR PLAN

SCALE: 1/4"=1'

WALL TYPE LEGEND	
	NEW WOOD FRAME WALL
	EXISTING TO BE REMOVED
	EXISTING TO REMAIN
	NEW POURED CONCRETE FOUNDATION WALL AND FOOTING
	NEW POST



JAMES T. CARBALLAL
ARCHITECT
TELEPHONE: 516.674.9936
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:
AS NOTED

DATE:
12-31-20

DRAWN BY:
JTC

REVISIONS:

DRAWING:
PLAN & ELEV'S.

DAVIES RESIDENCE
58 EIGHTH AVENUE, SEA CLIFF, NY 11579

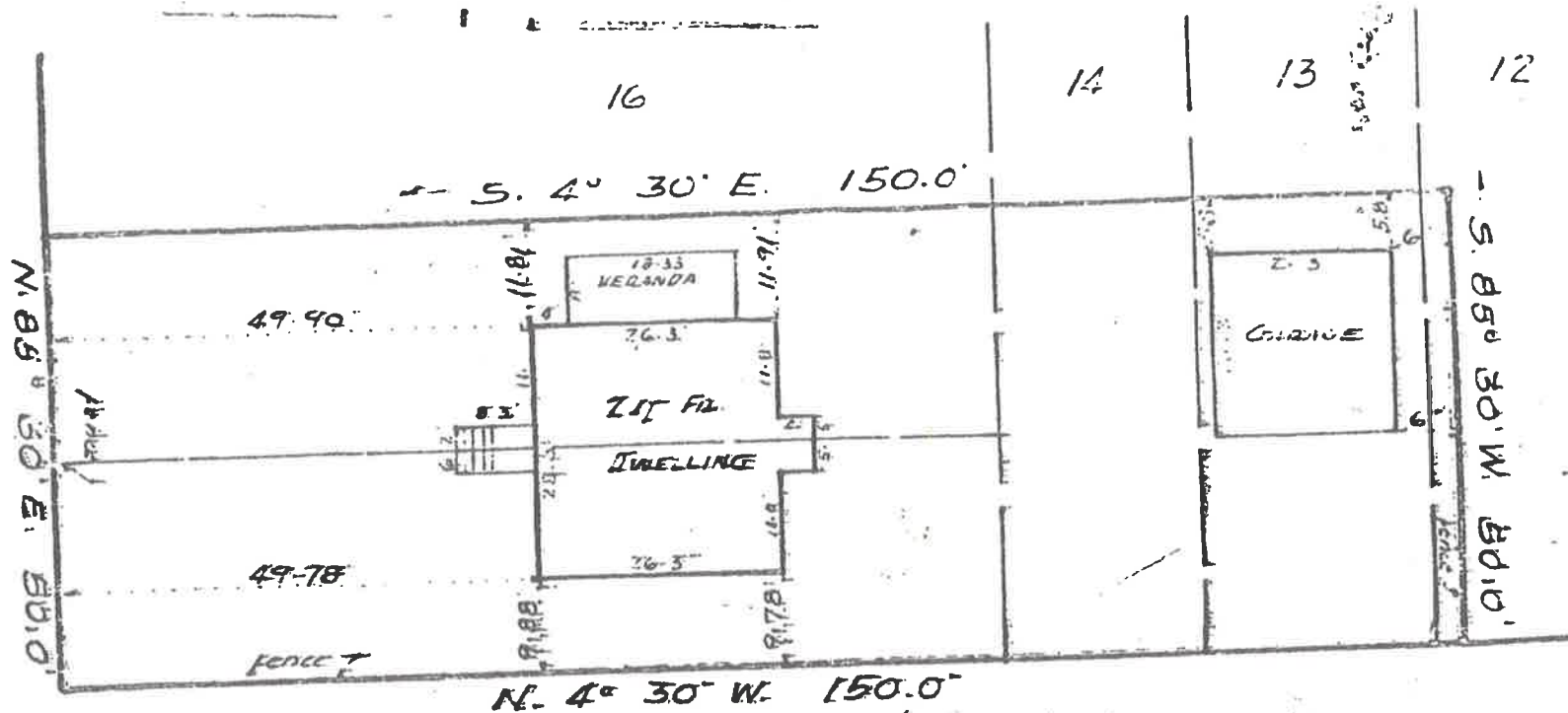
DWG. NO.

A-2
VILLAGE OF SEA CLIFF
APR - 5 2021
BUILDING DEPARTMENT

FOR PRELIMINARY REVIEW 3-1-21

BLOCK 7

EIGHTH AVE
HOUSE NO. 58



IRVING PLACE

MAP OF PROPERTY IN THE INC. VILLAGE OF SEA CLIFF,
TOWN OF OYSTER BAY, NASSAU CO., NEW YORK.

AUGUST 4, 1952

Survey guaranteed to the TITLE GUARANTEE & TRUST CO.
NO. 2986066

SCALE 1" = 20'

MARK L. BIGGORY, licensed surveyor, GLEN HEAD, NASSAU CO., N.Y.
LOT NUMBERS REFER TO MAP OF THE NORTHERN PART OF THE CROMWELL
FARM, SEA CLIFF, L.I. PROPERTY OF WM. I. PRESTON, QUEENS CO FILE 652, APR 1890

Job 2026
L-28
12/27/50





RIGHT SIDE (IRVING PLACE)



LEFT SIDE



REAR



FRONT (EIGHTH AVENUE)

58 EIGHTH AVENUE - PAUIES



SMITH RANDALL
OR CURRENT OWMER
63 8TH AVE
SEA CLIFF, NEW YORK 11579

DUNN III CHARLES & ROBIN
OR CURRENT OWMER
64 EIGHTH AVE
SEA CLIFF, NEW YORK 11579

ALLEN L A SCHWAB & STEPHEN
OR CURRENT OWMER
14 IRVING PL
SEA CLIFF, NEW YORK 11579

DEJONGH JUAN JOSE & OLGA T
OR CURRENT OWMER
8 IRVING PL
SEA CLIFF, NEW YORK 11579

UBINAS HENRY & CLAUDIA
OR CURRENT OWMER
46 8TH AVE
SEA CLIFF, NEW YORK 11579

JORDAN DEBORAH
OR CURRENT OWMER
7 IRVING PL
SEA CLIFF, NEW YORK 11579

GLADSKY JOHN & CLEMENTINE
OR CURRENT OWMER
93 CONRAD PL
SEA CLIFF, NEW YORK 11579

KESSLER SCOTT & KAREN
OR CURRENT OWMER
70 EIGHTH AVE
SEA CLIFF, NEW YORK 11579

ESSEX JOAN & PHIL
OR CURRENT OWMER
54 CROMWELL PL
SEA CLIFF, NEW YORK 11579

WHITE PHILIP & SUSAN
OR CURRENT OWMER
51 CROMWELL PL
SEA CLIFF, NEW YORK 11579

TOSCANO ROBERT & KIM
OR CURRENT OWMER
57 EIGHTH AVE
SEA CLIFF, NEW YORK 11579

HASSEL JR CHARLES J & ELEANOR
OR CURRENT OWMER
76 8TH AVE
SEA CLIFF, NEW YORK 11579

BOEHM PAUL J & LORRAINE
OR CURRENT OWMER
7 LOCUST AVE
SEA CLIFF, NEW YORK 11579

DAVIES CHARLES T & SARA J
OR CURRENT OWMER
58 EIGHTH AVE
SEA CLIFF, NEW YORK 11579

MARTONE ANDREW A
OR CURRENT OWMER
53 CROMWELL PL
SEA CLIFF, NEW YORK 11579

BROOKSBERG REALTY LLC
OR CURRENT OWMER
59 8TH AVE
SEA CLIFF, NEW YORK 11579

RAO JESS &
OR CURRENT OWMER
54 EIGHTH AVE
SEA CLIFF, NEW YORK 11579

JACOBS DAVID T & JOAN
OR CURRENT OWMER
51 8TH AVE
SEA CLIFF, NEW YORK 11579

Davies -
58 8th Ave



73.03040852 Degrees

THIS INDENTURE, made the 4th day of September, 2018

BETWEEN CHARLES T. DAVIES and SARAH J. DAVIES, his wife, both residing at 58 Eighth Avenue, Sea Cliff, New York 11579

party of the first part, and

ANDREW C. DAVIES, residing at 52 Hammond Road, Glen Cove, New York 11542, as Trustee of the DAVIES FAMILY TRUST

party of the second part,

WITNESSETH, that the party of the first part, in consideration of zero (\$0.00)

dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Incorporated Village of Sea Cliff, Town of Oyster Bay, County of Nassau, and State of New York, more particularly bounded and described as follows:

BEGINNING at a point formed by the intersection of the westerly side of Irving Place and the northerly side of Eighth Avenue, being the northwesterly corner of Eighth Avenue and Irving Place; running thence along the westerly side of Irving Place on a course north four degrees thirty minutes west one hundred and fifty feet; thence south 85 degrees 30 minutes West and parallel with the northerly side of Eighth Avenue 50 feet; thence south 4 degrees 30 minutes east and parallel with the westerly side of Irving Place 150 feet to the northerly side of Eighth Avenue; thence along the northerly side of Eighth Avenue on a course north 85 degrees 30 minutes East 50 feet; to the point of place of BEGINNING.

SAID PREMISES are known as No. 58 Eighth Avenue, Sea Cliff, N.Y.

SAID PREMISES being a one family residence only.

THIS CONVEYANCE IS MADE SUBJECT TO a life use held by CHARLES T. DAVIES and SARAH J. DAVIES, or the survivor of them, (the "Grantors") in the above-described premises in trust pursuant to and held in the DAVIES FAMILY TRUST Dated September 4th, 2018 (the "Trust"); further, the Grantors acknowledge that under the terms of the Trust the Grantors will be responsible for the maintenance of the Premises, cost of insurance and the payment of any and all real estate taxes levied against the Premises, and shall not permit or commit waste upon the Premises, and shall be entitled to any and all real property tax assessment exemptions, STAR exemption or other benefit associated with life use of the premises.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" when ever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF

[Handwritten signature]

Charles T. Davies
CHARLES T. DAVIES

Sarah J. Davies
SARAH J. DAVIES

Sec. 21
Blk. 89
Lot 23

TO BE USED ONLY WHEN THE ACKNOWLEDGMENT IS MADE OUTSIDE NEW YORK STATE

State (or District of Columbia, Territory, or Foreign Country) of

ss:

On the _____ day of _____ in the year _____ before me, the undersigned, personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual made such appearance before the undersigned in the

_____ in _____
(insert the City or other political subdivision) (and insert the State or Country or other place the acknowledgment was taken)

(signature and office of individual taking acknowledgment)

**BARGAIN AND SALE DEED
WITH COVENANT AGAINST GRANTOR'S ACTS**

Title No. _____

TO

SECTION 21
BLOCK 89
LOT 23
COUNTY OR TOWN
Sea Cliff
STREET ADDRESS
58 Eighth Avenue

Recorded at Request of
Abstracts, Incorporated

RETURN BY MAIL TO:

KENNETH P. MAHON, ESQ.
Mahon, Mahon, Kerins & O'Brien, LLC
254 Nassau Boulevard
Garden City South, NY 11530



585 Stewart Avenue · Garden City, NY 11530
516.683.1000