



INCORPORATED VILLAGE OF SEA CLIFF

**OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080**

Notice of Review

1/28/21

TO:

PROPERTY OWNER: Charles Bennett
PROPERTY ADDRESS: 141 Glenlawn Ave
SECTION/ BLOCK/ LOT: 21/109/7

APPLICATION NO: 12255
APPLICATION RECV'D: 1/28/2021
ZONE: Residence B

DESCRIPTION: The applicant proposes to convert garage to a pool house with open porch

The Proposed Construction does not comply with the following Village of Sea Cliff Code Section(s):

§ 138-516 Accessory buildings.

In addition to the requirements heretofore imposed, the following additional restrictions are placed on the erection of accessory buildings:

C. An accessory building erected in a rear yard shall be located at least five feet from the rear property line and at least 10 feet from the side property line of the lot.

D. The maximum gross floor area of any accessory building shall be 500 square feet.

The applicant proposes to convert garage to a 1000 sq/ft pool house with open porch where only 500 sq/ft is the permitted maximum. Additionally the structure is 3.1ft from the property line where a minimum of 5ft is required.

**Shane Dommin
Village of Sea Cliff Building Department**

Note; If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.



INCORPORATED VILLAGE OF SEA CLIFF

Post Office Box 340 • 300 Sea Cliff Avenue • Sea Cliff, NY 11579
(516) 671-0080 phone • (516) 671-6508 fax • www.seacliff-ny.gov

BUILDING PERMIT

APPLICATION ID # 12255 APPLICATION DATE _____ PERMIT # _____

PROPERTY ADDRESS: 141 Glenlawn Dr SECT 21 BLOCK 109 LOT 7

Owner: Charles Bennett
Address: 141 Glenlawn Ave City: SEA CLIFF State: NY Zip: 11579
Phone: 516 661 2684 Cell: _____ Email: CB@COREIR.COM

Applicant: SAME (if applicant is different from owner, state relationship to owner)
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Architect: Maximo Buschfels
Address: 2 Finch way City: SC State: NY Zip: 11579
Phone: _____ Cell: 516 551 8678 Email: mbf@maxbusch.com

Contractor: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Plumber: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Electrician: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

Other/Mechanical: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell: _____ Email: _____

A/C, Boiler, etc Model# _____
A/C, Boiler, etc Model# _____

PROPOSED WORK: Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

connect garage to pool house. w/ full bathroom.
to be open to all



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BUILDING PERMIT

Cost of Improvement: \$

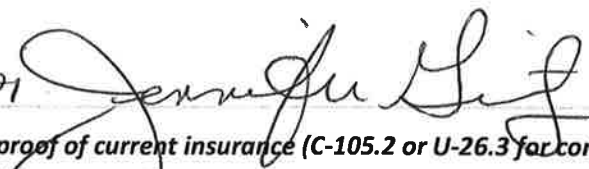
Owner: Deposits and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.

Owner Signature: 

Owner Signature: _____

JENNIFER GERDITY
NOTARY PUBLIC, State of New York
No. 01GE63977
Qualified in Nassau County
Commission Expires 06/17/2023

Date: 1/28/2021



Notary: _____

Contractors must submit proof of current insurance (C-105.2 or U-26.3 for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit

OFFICIAL USE

FEES

Application Fee \$ 75 PAID

Permit Fees

Building _____

Plumbing _____

Electrical _____

Mechanical _____

Certificate _____

Other _____

Total Permit Fees \$

150 PAID } \$225 paid 1/28/21 cash

REQUIRED CERTIFICATES

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Approved by _____

Examined for approval on _____

New State Law Requires: Site visits by the **Building Department** prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the **Building Department**.

Village Code Requires: Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)

ZONING BOARD OF APPEALS
PLANNING BOARD _____ (check one)

-----x
IN THE MATTER OF THE APPLICATION OF

Charles Emmett

APPLICATION

Village of Sea Cliff.
-----x

Proposes to convert garage to a
Pool House with open porch

1. Name of applicant: Maxime Buschfines

2. Applicant's address: 2 Finch Way

Sea Cliff NY 11575

3. If the applicant is not an owner of the property which is the subject of this application, state the relationship of the applicant to the owner(s):

Architect

4. The property which is the subject of this application is located at: 14 Glenlawn Ave., Village of Sea Cliff, N. Y. and is also known as Section 21, Block 109, Lot(s) 7 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the property (if applicant is not the sole owner) is:

Charles Emmett

6. The property is located in the RES B zoning district of the Village of Sea Cliff.
7. The subject property is located on the East side of Glenlawn Ave. (street).
8. The date on which the owner(s) acquired the property was _____.
9. The approximate dimensions of the property are 100.0 feet by 230.0 feet, and the total acreage of property is _____ acres.
10. The property is presently used for Residential
11. Are there existing buildings on the property? 2 of 2
12. Are there any outstanding village taxes on the property?
No If so, for what years? _____
13. The applicant or owner(s) wish to make use of the property for the purpose of: Residential.
14. The Building Department of the Village of Sea Cliff denied an application for a building permit on 01.28.2021
15. The proposed construction use of the property does not comply with the following sections of the Village Code: 138 - 516

16. This is an application for:

an appeal

a variance

a special permit

other (describe): _____

17. Description of the problem, or reasons for this application, that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

Existing garage is now conforming
proposes to convert to pool house
& add open porch.

18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? No If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application?____
If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.
20. Are there any outstanding violation notices affecting the subject premises? No
21. Are there any pending court proceedings involving the subject premises? No
22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

Name of applicant: Maximo Buschfuer
Signature of applicant: [Signature]
Title of signatory: lect. lect.
Date: 02.04.2021

AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the _____, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

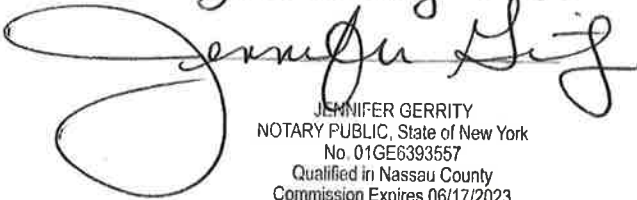
If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

Maximo Buschfues

Print Name

Signature

Sworn to before me this 4
day of February 2021.



JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023

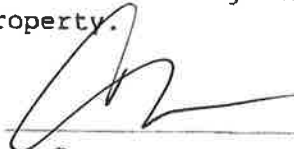
AFFIDAVIT OF OWNER(S)

(To be completed only if the applicant is not the sole owner)
(All owners must sign either as owner or applicant)

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

Charles Bennett being duly sworn, deposes and says that (s)he is the owner of the property known as 141 Glenlawn Ave Sea Cliff NY 11579 in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 28 day of February 2021.

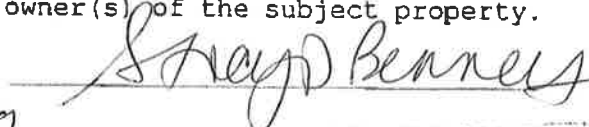
Patricia Guey

PATRICIA GUY
Notary Public, State of New York
No. 01GU5029016
Qualified in Nassau County
Commission Expires June 13, 2022

STATE OF NEW YORK) SS:

COUNTY OF NASSAU)

Stacy Bennett being duly sworn, deposes and says that (s)he is the owner of the property known as 141 Glenlawn Ave Sea Cliff in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 12 day of Feb 2021.

Patricia Guey

PATRICIA GUY
Notary Public, State of New York
No. 01GU5029016
Qualified in Nassau County
Commission Expires June 13, 2022

ZONING BOARD OF APPEALS
PLANNING BOARD _____ (check one)
VILLAGE OF SEA CLIFF

In the Matter of the Application of

Charles Bennett

DISCLOSURE

AFFIDAVIT

General Municipal Law
Section 809

-----X
Proposes to convert garage to a pool house with open porch. STATE OF NEW YORK) COUNTY OF NASSAU)

ss: Maximo Buschfue being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
-------------	----------------	-----------------	---------------------------

NONE

[Signature]
Signature

Sworn to before me this 4
day of February 2021.

[Signature]
JENNIFER GERRITY
NOTARY PUBLIC, State of New York
No. 01GE6393557
Qualified in Nassau County
Commission Expires 06/17/2023



Incorporated Village of Sea Cliff
Office of the Superintendent of Buildings

Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

Homeowner: _____

Date: _____

[Handwritten signature]
02.04.2021

as owner's agent

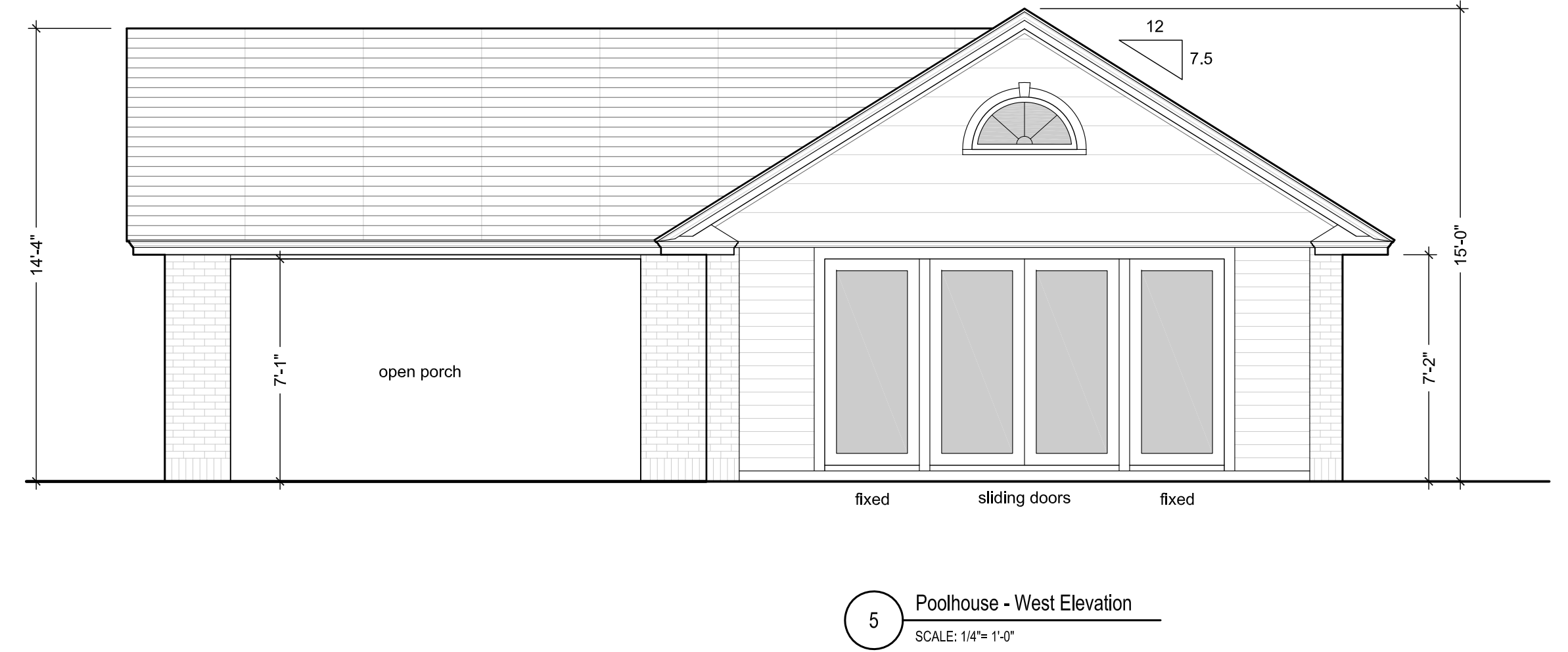
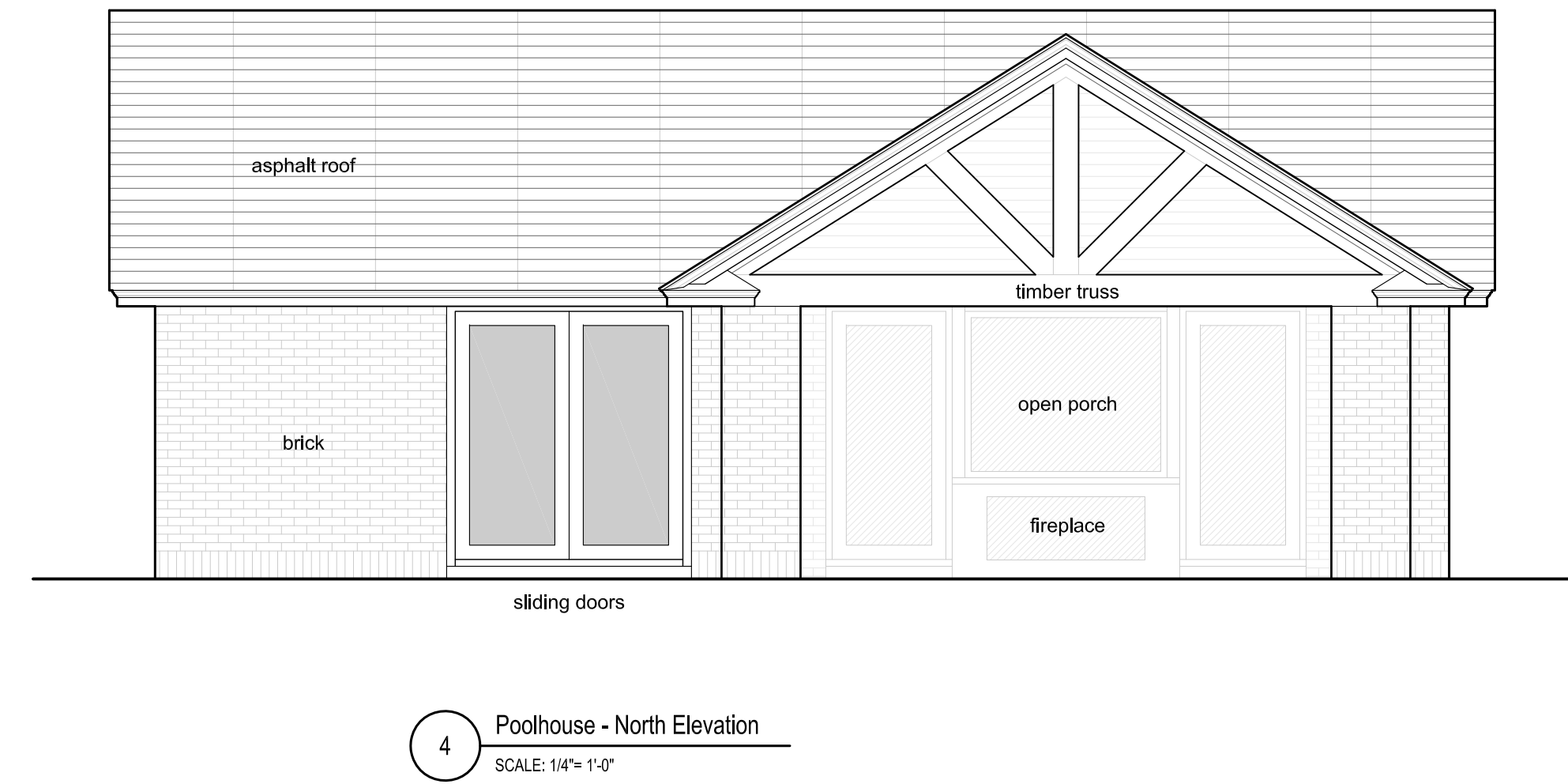
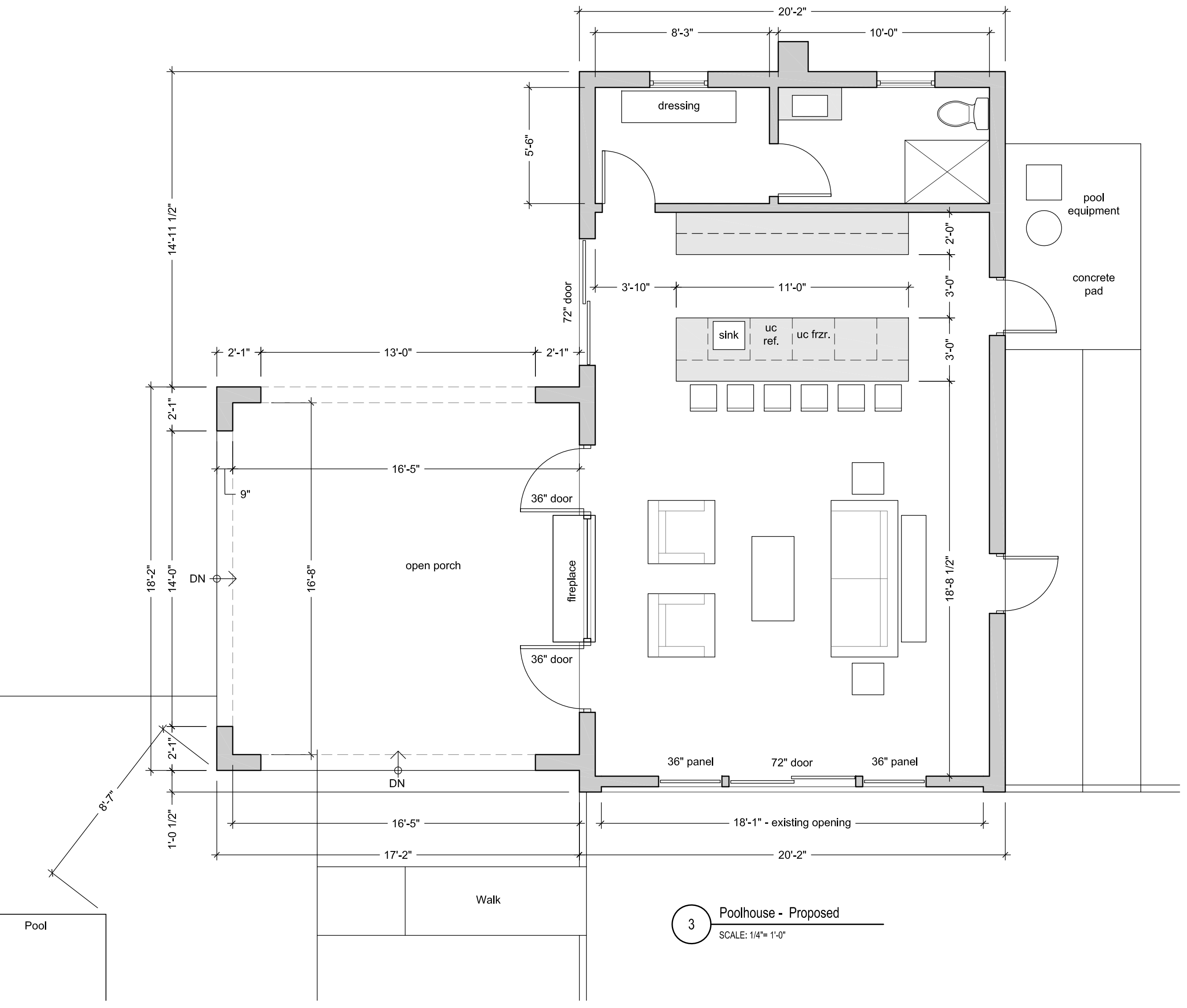
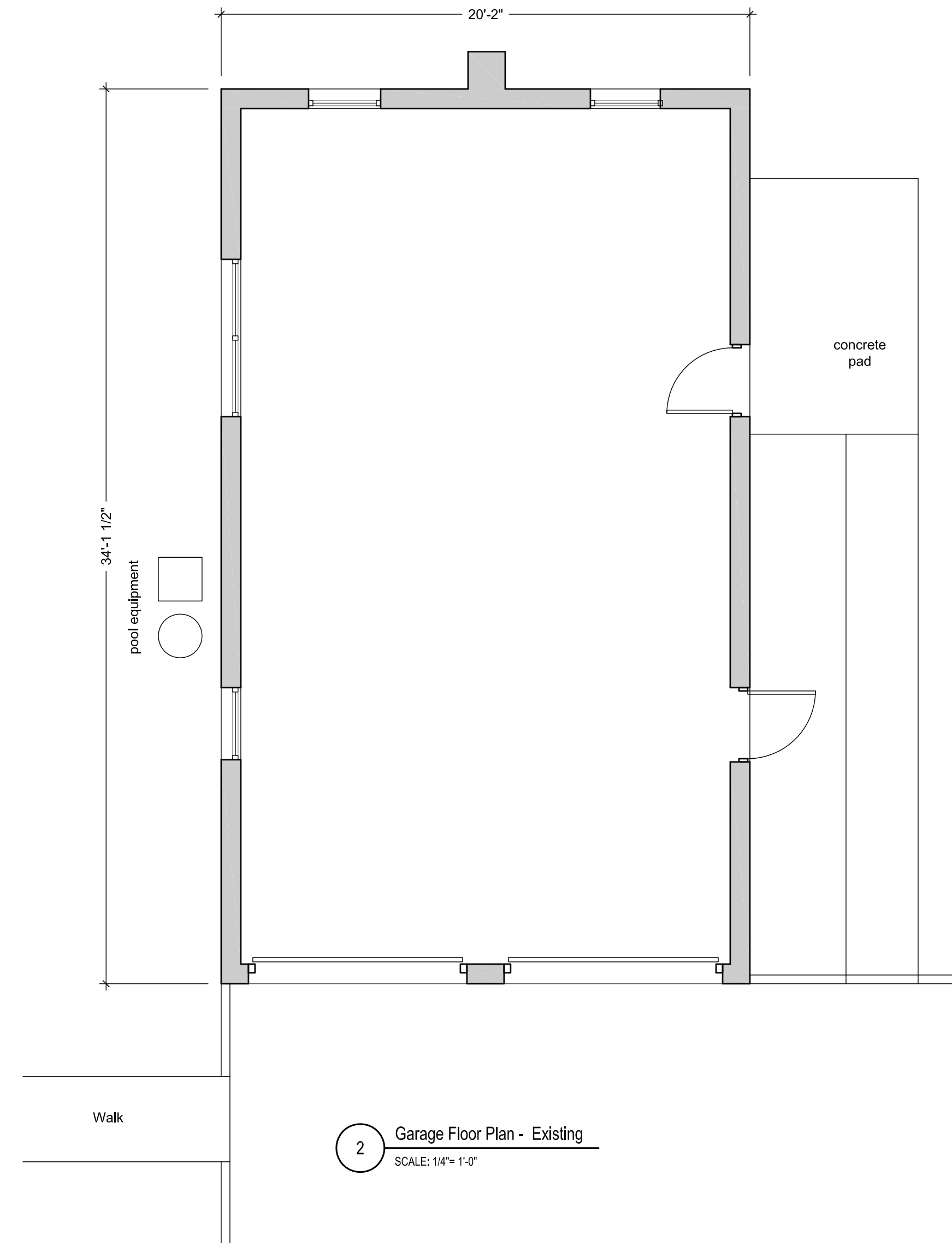
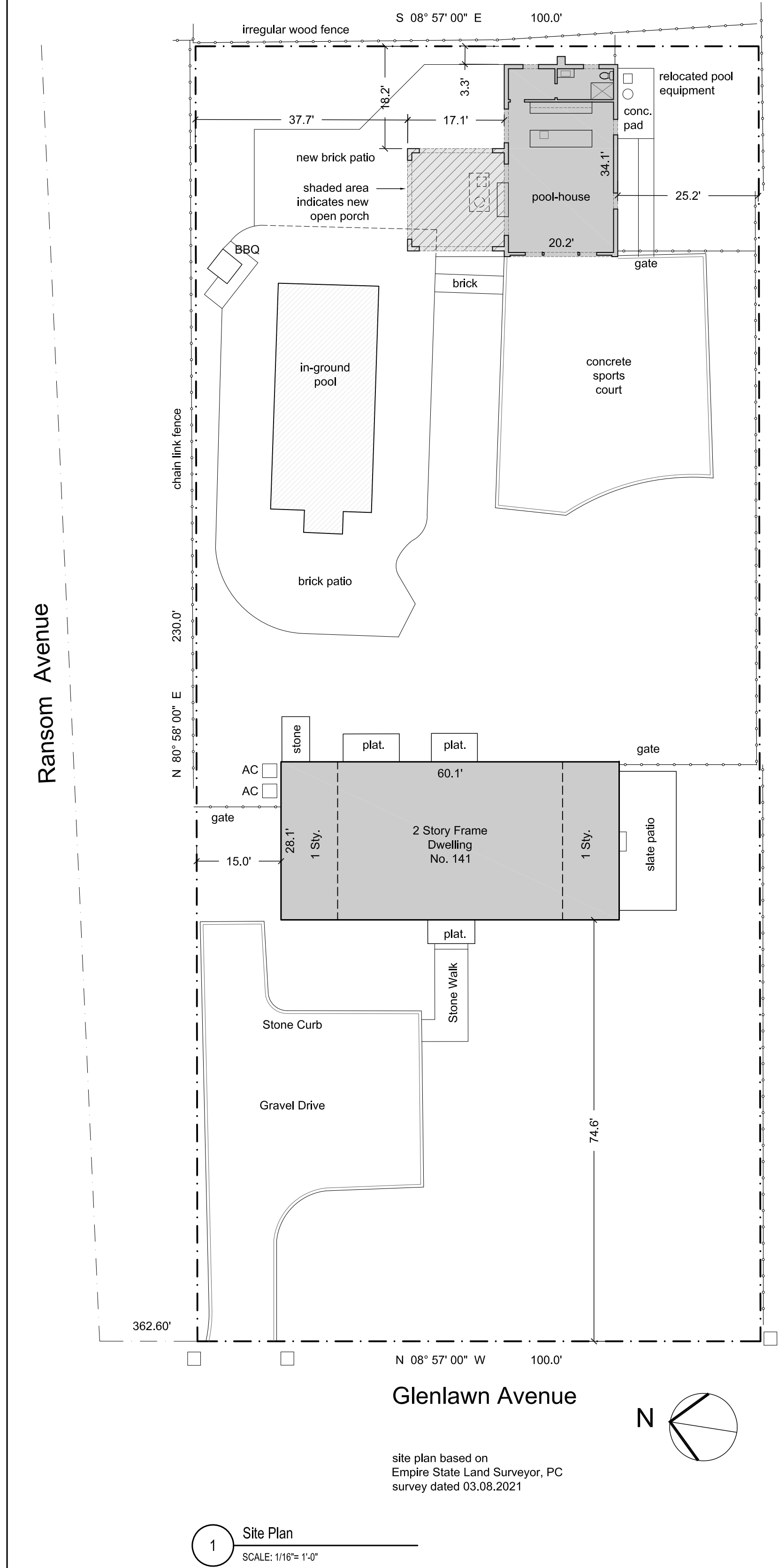
141 Glenlawn Avenue Sea Cliff, NY 11579

Project Scope of Work	List of Drawings	Energy Statement
Convert garage to poolhouse Add open porch	A-01 Title, Zoning, Notes, Site Plan, Existing & Proposed Floor Plans, Exterior Elevations	To the best of my knowledge the proposed work complies with the requirements of the Energy Conservation Construction Code of New York State
General Notes		
All materials, assemblies, forms and methods of construction and service equipment shall comply with the requirements of the 2020 Residential Code of New York State and any additional applicable codes and regulations.		



2 Finch Way
Sea Cliff, NY 11579
(516) 551-8678
mbf@maxbusch.com

M. BÜSCHFRERS
Architect P.C.



Zoning Data:						
address	141 Glenlawn Avenue	section	21			
zone	Res-B	block	109			
use	single family residence	lot	7			
		allowed	existing	proposed	total	comments
lot area	a	10,000 SF	23,000 SF	-	23,000 SF	-
main building area	b	-	1,686 SF	-	1,686 SF	-
accessory building area	c	-	688 SF	+ 312 * 25%	766 SF	variance required
basement	d	-	-	-	-	-
1st floor	e	-	1,686 SF	-	1,686 SF	-
2nd floor	f	-	1,121 SF	-	1,121 SF	-
attic (over 7 ft high)	g	-	-	-	-	-
porch (over 8 ft deep)	h	-	-	-	-	-
gross floor area	i = .5d+e+f+.5g+.25h	-	2,807 SF	-	2,807 SF	-
lot coverage	(b+c)/a	30%	10.3 %	-	10.3 %	-
height	accessory	15 FT	15 FT	-	15 FT	-
front yard	accessory	not permitted	-	-	-	-
side yard	accessory	10 FT	25.0 FT	-	25.0 FT	-
rear yard	accessory	5 FT	3.1 FT	-	3.1 FT	-
FAR	(i+c)/a	19.0%	15.2 %	-	15.5 %	-

REVISIONS
1. 01.28.2021 Issued for ZBA

PROJECT:
141 Glenlawn Avenue
Sea Cliff, NY 11579

DRAWING TITLE:
Title, Zoning, Notes, Site Plan, Existing & Proposed
Floor Plans, Exterior Elevations

SHEET No.

A-01

MAP OF PROPERTY SITUATED IN

SEA CLIFF

NASSAU COUNTY, N.Y.

TAX SECT.: 21 TAX BLOCK: 109 TAX LOT(S): 7

RANSOM

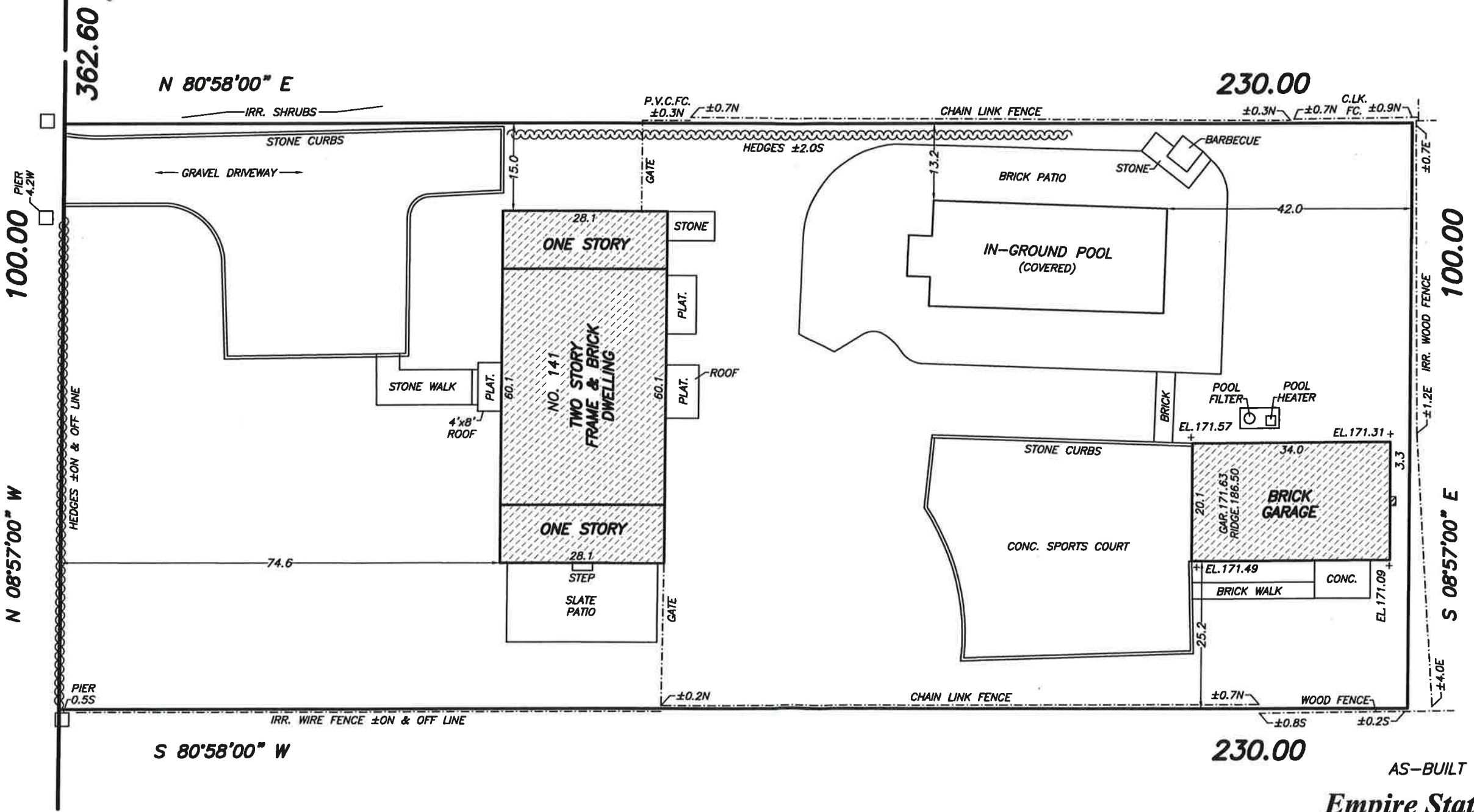
(GEISSENHAINER AVE.)

AVENUE



AVENUE

GLENLAWN

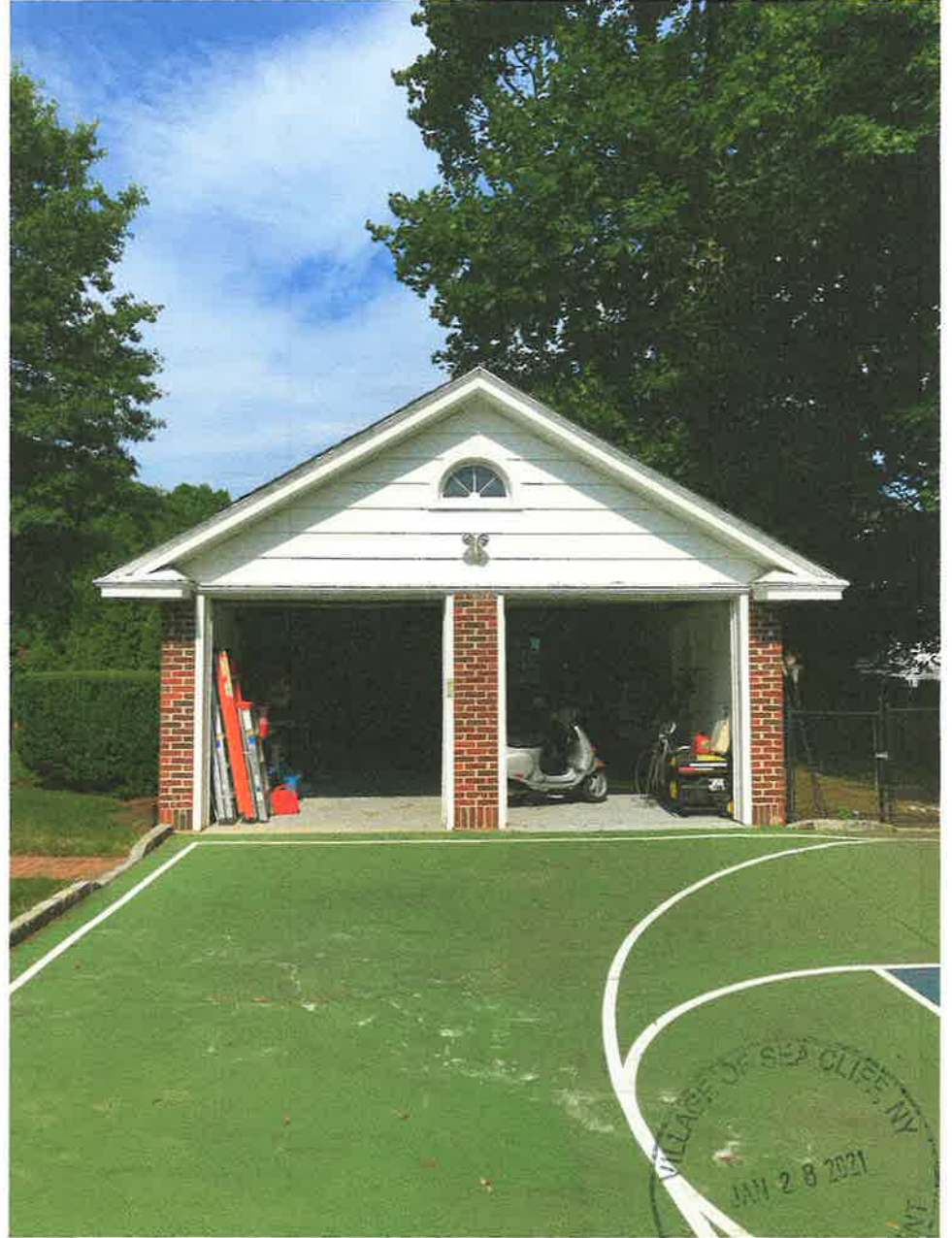


AS-BUILT WITH PARTIAL ELEVATIONS

Empire State Land Surveyor, P.C.
 Frank I. Galluzzo Professional Land Surveyor
 Records of Albert A. Bianco
 Stephen J. Reid - M. Berry Carman - G. W. Haviland
 Vandewater & Lapp - Robert E. Carlin - William J. Daly
 1005 Glen Cove Avenue, Glen Head, NY, 11545
 empiresurveys@aol.com | (516)-240-6901

SCALE: 1"=20'
 UNAUTHORIZED ALTERATIONS AND/OR ADDITIONS TO THIS SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, THE TITLE COMPANY, THE GOVERNMENTAL AGENCY AND THE LENDING INSTITUTION LISTED ON THIS SURVEY MAP. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS AND/OR SUBSEQUENT OWNERS. FENCE OFFSETS TAKEN AT POSTS. ENCROACHMENTS OR VAULTS BELOW SURFACE ARE NOT SHOWN. RIGHT OF WAYS AND/OR EASEMENTS OF RECORD NOT SHOWN ON THIS SURVEY ARE NOT CERTIFIED. OFFSETS AND DIMENSIONS HEREON ARE FOR A SPECIFIC PURPOSE AND ARE NOT TO BE USED IN THE ERECTION OF ADDITIONAL STRUCTURES, FENCES OR OTHER IMPROVEMENTS.
 ©2021 ALL RIGHTS RESERVED ALL ELEVATIONS SHOWN ARE RELATIVE.

SURVEYED: MARCH 8, 2021





BUILDING DEPARTMENT
MAY 2 9 12 AM '12

MITZNER ALAN & JUDITH
OR CURRENT OWMER
145 GLENLAWN AVE
SEA CLIFF, NEW YORK 11579

PASSUELLO MICHAEL & TRACEY
OR CURRENT OWMER
46 MARDEN AVE
SEA CLIFF, NEW YORK 11579

~~BUCKOWSKI ROGER & MARLENE~~ Maria Ghersi
OR CURRENT OWMER
124 GLENLAWN AVE
SEA CLIFF, NEW YORK 11579

~~ARIAS CAMILO & JOSEFINA~~ Spencer + Michelle
OR CURRENT OWMER Singer
135 GLENLAWN AVE
SEA CLIFF, NEW YORK 11579

Bennett -
141 Glenlawn Ave

MADRAZO CLAUDE & LINDA
OR CURRENT OWMER
131 GLENLAWN AVE
SEA CLIFF, NEW YORK 11579

K & L LARSEN
OR CURRENT OWMER
42 MARDEN AVE
SEA CLIFF, NEW YORK 11579

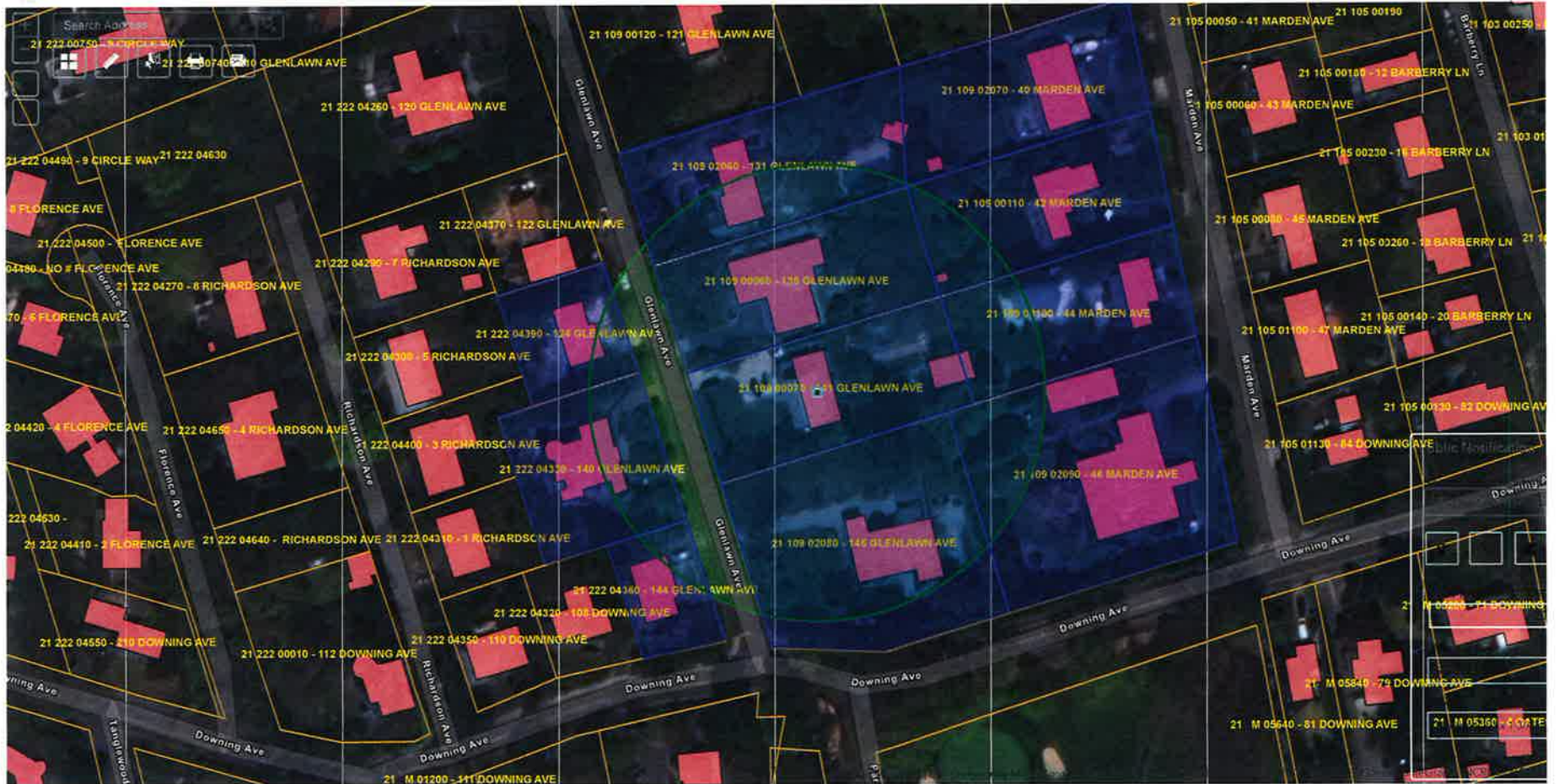
DAKIN ANGELA
OR CURRENT OWMER
40 MARDEN AVE
SEA CLIFF, NEW YORK 11579

GUSS JONATHAN & MELISSA
OR CURRENT OWMER
140 GLENLAWN AVE
SEA CLIFF, NEW YORK 11579

LEDER THOMAS J & DEIRDRE A
OR CURRENT OWMER
44 MARDEN AVE
SEA CLIFF, NEW YORK 11579

~~BERNSTEIN JOANN~~ Lee + Jaime Krinsky
OR CURRENT OWMER
144 GLENLAWN AVE
SEA CLIFF, NEW YORK 11579

~~BENNETT STACY & CHARLES~~
OR CURRENT OWMER
141 GLENLAWN AVE
SEA CLIFF, NEW YORK 11579



STATE OF NEW YORK
COUNTY OF NASSAU }
COUNTY CLERK'S OFFICE }

SS:

I, MAUREEN O'CONNELL, County Clerk of the County of Nassau and
the Supreme and County Courts, Courts of Record thereof,

DO HEREBY CERTIFY, that I have compared the annexed with the
original.

DEED D 13236 PAGES 378-380

FILED AND RECORDED in my office 07/23/2015 and the same is a true
transcript there of or and of the whole of such original.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed
THE OFFICIAL SEAL OF SAID COUNTY AT MINEOLA, N.Y. THIS 2nd DAY
MARCH, OF 2021.

Maureen O'Connell

JUDGEMENT TAKEN IN NEW YORK STATE

New York, County of Nassau ss:

the 10th day of July in the year 2015, before me, the undersigned, personally appeared **STACY BENNETT and MARTIN FLEISHER**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



RAYMOND A. FLECK
Notary Public, State of New York
Registration #01FLB127969
Qualified in Nassau County
Commission Expires June 8, 2017

ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:
On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in _____

Of the place of residence is in a city, include the street and street number if any, therein; that he/she/they know(s) _____

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said _____

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto

Bargain and Sale Deed Without Covenants

Title No. NLT-25792-N-15

STACY BENNETT and MARTIN FLEISHER
TO
STACY BENNETT and CHARLES BENNETT


NATIONAL LAND TENURE COMPANY, LLC
950 Franklin Avenue
Garden City, NY 11530
Phone (516) 227-0800 • Fax (516) 227-1160

ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE

State of New York, County of _____, ss:

On the _____ day of _____ in the year _____, before me, the undersigned, personally appeared _____

_____ personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK STATE

*State of _____, County of _____, ss:
*(Or insert District of Columbia, Territory, Possession or Foreign Country)

On the _____ day of _____ in the year _____, before me, _____ the undersigned personally appeared _____

Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the _____

(add the city or political subdivision and the state or country or other place the acknowledgement was taken).

SECTION: 21
BLOCK: 109
LOT: 7
COUNTY OR TOWN: Nassau

RETURN BY MAIL TO:

Stacy Bennett
141 Glenlawn Avenue
Sea Cliff, NY 11579

SEE YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT-THIS INSTRUMENT SHOULD BE USED BY LAWYERS

THIS INDENTURE, made the 10th day of July, 2015

BETWEEN

STACY BENNETT and MARTIN FLEISHER, both residing at, 141 Glenlawn Avenue, Sea Cliff, NY 11579

Party of the first part, and

STACY BENNETT and CHARLES BENNETT, wife and husband, both residing at 141 Glenlawn Avenue, Sea Cliff, NY 11579

Party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten (\$10.00) dollars paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Incorporated Village of Sea Cliff, Town of Oyster Bay, County of Nassau and State of New York, more particularly bounded and described as follows:

BEGINNING at a point on the Easterly side of Glenlawn Avenue, distant 362.60 feet Southerly from the corner formed by the intersection of the Southerly side of Geissenhainer Avenue (Ransom Avenue) with the Easterly side of Glenlawn Avenue;

THENCE North 80 degrees 58 minutes East, 230 feet to a point;

THENCE South 8 degrees 57 minutes East on a line parallel to Glenlawn Avenue, 100 feet to a point;

THENCE South 80 degrees 58 minutes West along land of Norvin H. Rieser, 230 feet to a point on the Easterly side of Glenlawn Avenue;

THENCE North 8 degrees 57 minutes West along the Easterly side of Glenlawn Avenue, 100 feet to the point or place of BEGINNING.

S-21 B-109 L-7

Being and intended to be the same premises conveyed to the Grantor herein dated July 31, 2012 and recorded on August 15, 2012 in Liber 12857 page 921.

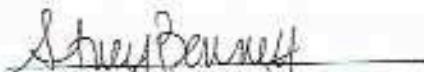

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:




STACY BENNETT

MARTIN FLEISHER

FENCE MAINTENANCE AGREEMENT

This agreement dated the 12th day of March 2021 is between Charles and Stacy Bennett, sole owners of the property located at 141 Glenlawn Avenue Sea Cliff, NY 11579 and designated as Section 21, Block 109, Lot 7 on the Nassau County Land and Tax Map and Tom and Deirdre Leder as sole owners of property located at 44 Marden Avenue Sea Cliff NY 11579 and designated as Section 21, Block 109, Lot 10 on the Nassau County Land and Tax Map.

The parties agree to the following terms and conditions: (1) Both parties have swimming pools in their rear yards. In mutual agreement to do so, the Bennetts previously replaced the Leder's existing fence that separates the Bennett and the Leder properties, such that the fence would serve as a compliant barrier for the Bennett pool as required by the Village Code of Sea Cliff, State of New York. (2) Most of the fence is technically on the Leder property that runs parallel to the adjoining property line with the Bennett property.

(3) The Leders grant full access to Bennetts to maintain the Shared Barrier Fence. (4) The Bennetts acknowledge that they will always be responsible to maintain the shared barrier fence in a manner required by the village code of Sea Cliff, NY. Such maintenance will be in full compliance with the uniform code provisions relating to barrier fences and no portion of the shared barrier fence or connecting fence shall have any gates or openings except as permitted by the uniform code. (5) If at such time in the future, alterations to the fence are required for the Leder property to satisfy village code requirements, or the need for the Bennetts to maintain the fence to satisfy village code ceases, both parties acknowledge alternative arrangements to this agreement may be required as necessary including responsibility for maintenance of the fence.

Stacy Bennett Stacy Bennett

Charles Bennett [Signature]

Tom Leder T. Leder

Deirdre Leder D. Leder