



# INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT  
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080

## Notice of Review

11/17/20

TO:  
PROPERTY OWNER: William Becker  
PROPERTY ADDRESS: 38 Bay Ave.  
SECTION/ BLOCK/ LOT: 21/F/1969

APPLICATION NO: 12182  
APPLICATION REC'D: 11/9/2020  
ZONE: Residence A

**DESCRIPTION:** The applicant proposes to stabilize the shoreline on their property.

### **§ 64-1. Height of fences and walls; finished side to face away from fenced property.**

*No person shall be permitted to erect or maintain or cause to be erected or maintained any fence or wall, other than a wall which is an integral part of a structure, of a height of more than four feet, with the exception of open-wire fences of an approved type, which shall not exceed five feet in height. The height of a fence or wall shall be measured from the ground level on the lower side of such fence or wall. All fences shall be constructed with the finished side facing away from the property on which such fence is erected*

Applicant proposes to construct a retaining walls in excess of 4 feet, requiring Planning Board review.

### **§ 64-1.1 Retaining walls.**

*[Added 2-1-2010 by L.L. No. 1-2010]*

*A. Retaining walls shall not extend more than three inches above the ground that they support.*

*B. No retaining wall shall exceed four feet in height, and no two retaining walls may be closer than five feet to one another, measured from wall face to wall face.*

Applicant proposes to construct a retaining walls in excess of 4 feet, requiring Planning Board review.

### **§ 107-4 Review required.**

*[Amended 10-7-1996 by L.L. No. 1-1996; 12-10-2018 by L.L. No. 7-2018]*

*Site plan review, as provided herein, shall be required for the following, and the Planning Board shall approve, approve with modifications or disapprove applications, as follows:*

*E. Any substantial change in topography. For purposes of this section, any change in topography in excess of one foot in height or elevation, at any point or over any ten-foot linear area, shall be considered a substantial change.*

*F. Any construction involving an enlargement or modification to roof area or building footprint, or an addition or modification to an accessory structure, regardless of whether such structure qualifies for a building permit exemption under § 138-1205, for property abutting Hempstead Harbor.*

Applicant proposes to construct a retaining walls in excess of 4 feet, requiring Planning Board review.

**§ 60-10 Type I actions.**

*For purposes of this chapter, Type I actions are those listed in Part 617. In addition to the list of actions in Part 617, the following actions are deemed by the Village to be Type I actions (where the following list conflicts directly with Part 617 listed actions (as determined by the Agency), the following list supersedes those provisions contained in Part 617):*

*A. Any construction on slopes of 15% or greater (a fifteen-foot rise per 100 feet of length) or where the general slopes in the project area exceed 10%.*

*F. Construction, addition, replacement or significant repair of a bulkhead.*

*G. Construction on or the development or use of a site which may affect a unique or unusual land form found on the site, including, but not limited to, cliffs, dunes, or geological formations.*

*J. Proposed action which will likely cause siltation or other discharge into an existing body of water to the extent that there will be obvious visual contrast to natural conditions.*

*M. Construction on or the development of use of a site which may alter the drainage flow or patterns of surface water runoff.*

*O. Proposed action which may cause substantial erosion.*

*Q. Construction on or the development or use of a site which will be visible to users of an aesthetic resource and which will eliminate or significantly reduce the enjoyment of the aesthetic qualities of that resource.*

*T. Construction on or the development or use of a site which may result in objectionable odors, noise or vibration such that odors will occur routinely (more than one hour per day), noise will be produced which exceeds the ambient noise levels permitted for noise outside of structures or natural barriers that would act as a noise screen will be removed.*

Applicant proposes to stabilize the shoreline on their property. Bulkheads are automatically a Type 1 action. All sections of Chapter 60 of the Village Code will apply including compliance with NYCRR Title 6 Part 617.



**Shane Dommin**  
**Village of Sea Cliff Building Department**

**Note; If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.**



**INCORPORATED VILLAGE OF SEA CLIFF**  
**OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT**  
300 SEA CLIFF AVE, P.O. BOX 340, SEA CLIFF, NY 11579 TEL 516-671-0080 FAX 516-671-6503  
**BUILDING PERMIT**

APPLICATION ID # 12182 APPLICATION DATE 10/13/20 PERMIT # \_\_\_\_\_

PROPERTY ADDRESS: 38 Bay Avenue SECT: 21 BLOCK # \_\_\_\_\_ LOT # 363

Owner: William Becker

Address: 38 Bay Avenue

City: Sea Cliff

State: NY

Zip: 11579

Phone: 917-969-7398

Cell: \_\_\_\_\_

Email: william\_e\_becker@yahoo.com

Applicant: (if applicant is different from owner state relationship to owner) Keith J. Masseria, P.E. (Engineer)

Address: 437 South Country Road

City: Brookhaver

State: NY

Zip: 11719

Phone: 516-636-4500

Cell: 516-375-7453

Email: kmasseria@lkma.com

Architect:

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Cell: \_\_\_\_\_

Email: \_\_\_\_\_

Contractor:

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Cell: \_\_\_\_\_

Email: \_\_\_\_\_

Plumber:

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Cell: \_\_\_\_\_

Email: \_\_\_\_\_

Electrician:

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Cell: \_\_\_\_\_

Email: \_\_\_\_\_

Other/Mechanical:

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Cell: \_\_\_\_\_

Email: \_\_\_\_\_

A/C, Boiler, etc Model# \_\_\_\_\_

A/C, Boiler, etc Model# \_\_\_\_\_

**PROPOSED WORK:** Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

See attached project description \_\_\_\_\_



**INCORPORATED VILLAGE OF SEA CLIFF**  
**OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT**  
300 SEA CLIFF AVE, P.O. BOX 340, SEA CLIFF, NY 11579 TEL 516-671-0080 FAX 516-671-6508  
**BUILDING PERMIT**

Cost of Improvement:      § Est. Cost \$90,000

Owner: *Depos and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.*

Owner Signature: William Beecher

Owner Signature: \_\_\_\_\_

ELIZABETH J. VALENTINE  
No. 01VA6138745  
Notary Public, State of New York  
Qualified in Nassau County  
My Commission Expires Dec. 27, 2020

Date: 20th Day of October 2020

Notary: [Signature]

*Contractors must submit proof of current insurance (C-105.2 or U-26.3 for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit*

OFFICIAL USE

FEES \$100 PB pd 11/30/2020

REQUIRED CERTIFICATES

Application Fee

\$ 75 pd

Permit Fees

- Building
- Plumbing
- Electrical
- Mechanical
- Certificate
- Other

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Total Permit Fees \$

Approved by \_\_\_\_\_

Examined for approval on \_\_\_\_\_

**New State Law Requires:** Site visits by the Building Department prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the Building Department.

**Village Code Requires:** Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)

Form IVQSC BP 6/18

ZONING BOARD OF APPEALS \_\_\_\_\_  
PLANNING BOARD X (check one)

-----X  
IN THE MATTER OF THE APPLICATION OF

William Becker

APPLICATION

Village of Sea Cliff.  
-----X

proposing to stabilize shoreline at 38 Bay Ave.

1. Name of applicant: William BECKER

2. Applicant's address: 38 BAY AVENUE

3. If the applicant is not an owner of the property which is the subject of this application, state the relationship of the applicant to the owner(s):

NA

4. The property which is the subject of this application is located at: 38 BAY AVENUE, Village of Sea Cliff, N. Y. and is also known as Section 21, Block F, Lot(s) 1969 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the property (if applicant is not the sole owner) is:

Above

- \_\_\_\_\_
- \*6. The property is located in the A zoning district of the Village of Sea Cliff.
7. The subject property is located on the WEST side of BAY AVENUE (street).
8. The date on which the owner(s) acquired the property was 1999.
- \* 9. The approximate dimensions of the property are 100 feet by 163 feet, and the total acreage of property is 0.4 acres.
10. The property is presently used for residence
- \_\_\_\_\_
- \* 11. Are there existing buildings on the property? yes (1) of 1
12. Are there any outstanding village taxes on the property? NO If so, for what years? —
13. The applicant or owner(s) wish to make use of the property for the purpose of: Residence
- \*14. The Building Department of the Village of Sea Cliff denied an application for a building permit on 11/17/20
- \*15. The proposed construction use of the property does not comply with the following sections of the Village Code: \_\_\_\_\_
- 64-1
- 64-1.1
- 104.4
- 60-10

\*16. This is an application for:

\_\_\_\_\_ an appeal

\_\_\_\_\_ a variance

\_\_\_\_\_ a special permit

other (describe): site plan review

17. Description of the problem, or reasons for this application, that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

Please see Attachment A

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18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? No If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application? No

If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.

20. Are there any outstanding violation notices affecting the subject premises? No

21. Are there any pending court proceedings involving the subject premises? No

22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

Name of applicant: William Becker  
Signature of applicant: William Becker  
Title of signatory: Owner  
Date: 11/30/20



AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU )

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the \_\_\_\_\_, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

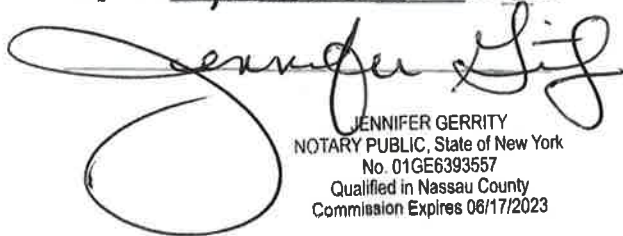
William Becker

Print Name

William Becker

Signature

Sworn to before me this 30  
day of November 2020.



JENNIFER GERRITY  
NOTARY PUBLIC, State of New York  
No. 01GE6393557  
Qualified in Nassau County  
Commission Expires 06/17/2023

AFFIDAVIT OF OWNER(S)

(To be completed only if the applicant is not the sole owner)  
(All owners must sign either as owner or applicant)

STATE OF NEW YORK) ss:

COUNTY OF NASSAU )

William Becker being duly sworn, deposes and says that (s)he is the owner of the property known as 348 Bay Avenue in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.

William Becker

Sworn to before me on this 30  
day of November 2020

JENNIFER GERRITY  
NOTARY PUBLIC, State of New York  
No. 01GE6393557  
Qualified in Nassau County  
Commission Expires 06/17/2023

Jennifer Gerrity

STATE OF NEW YORK) ss:

COUNTY OF NASSAU )

\_\_\_\_\_ being duly sworn, deposes and says that (s)he is the owner of the property known as \_\_\_\_\_ in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.

Sworn to before me on this \_\_\_\_\_  
day of \_\_\_\_\_ 20\_\_ .

ZONING BOARD OF APPEALS \_\_\_\_\_  
PLANNING BOARD  (check one)  
VILLAGE OF SEA CLIFF

In the Matter of the Application of

DISCLOSURE  
AFFIDAVIT  
General Municipal Law  
Section 809

William Becker

STATE OF NEW YORK) COUNTY OF NASSAU )

Proposing to stabilize shoreline.

William Becker

, being duly sworn, deposes and says:

1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
<u>None</u>			

William Becker  
Signature

Sworn to before me this 30  
day of November 2020.

  
JENNIFER GERRITY  
NOTARY PUBLIC, State of New York  
No. 01GE6393557  
Qualified in Nassau County  
Commission Expires 06/17/2023



## Incorporated Village of Sea Cliff

### Office of the Superintendent of Buildings

Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

### Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

Homeowner: William Becker

Date: 11/30/20

## Attachment A

### Rationale:

The entire project is an on-going effort to continue to stabilize 38 Bay Avenue as a result of the rising water table and resulting storm damage/wave action. Work is being undertaken largely as a precautionary measure to prevent future damage to the shoreline, cliffs, existing retaining walls and ultimately residence.

### Project Description

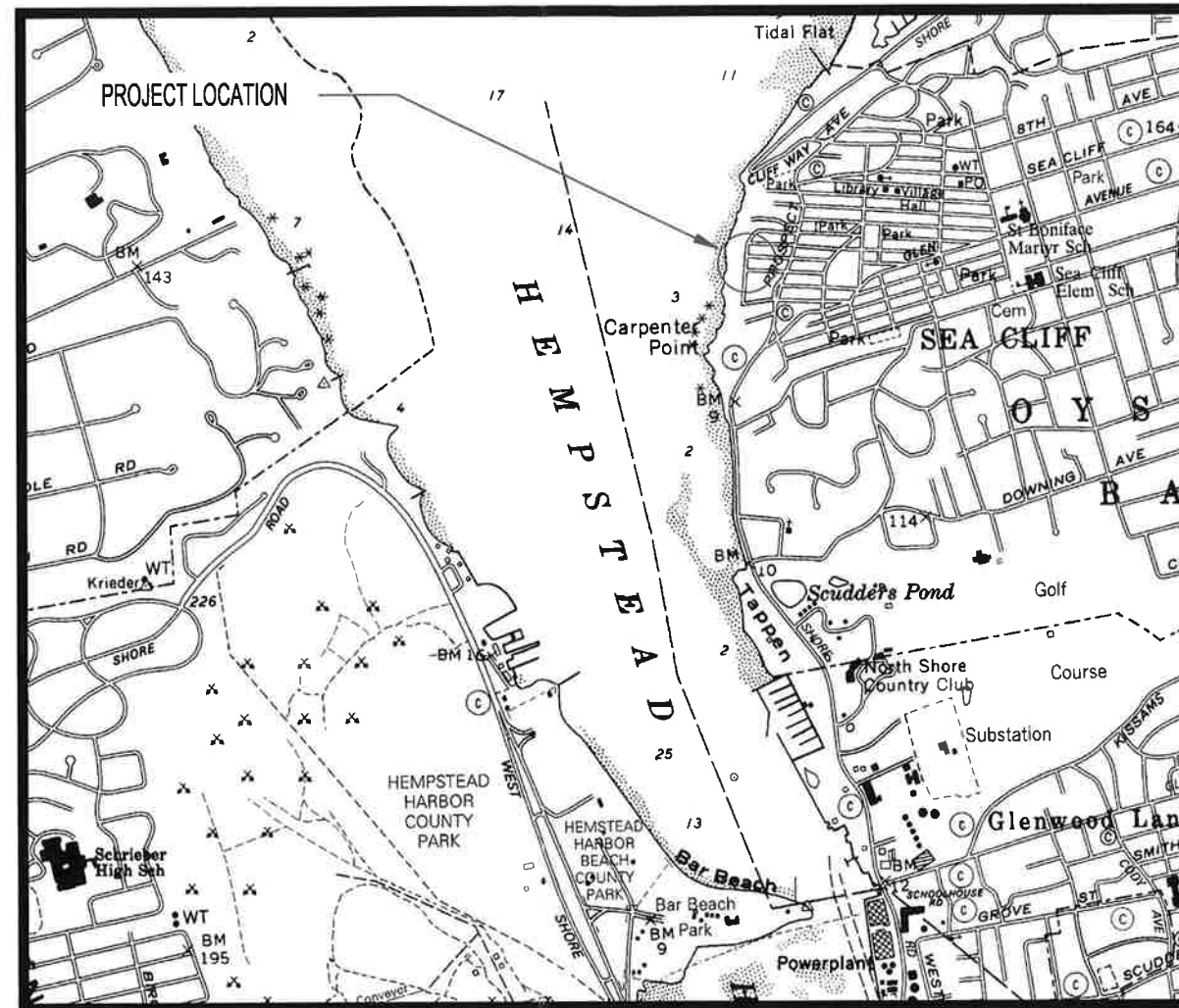
The purpose of the project is to raise the top of the existing bulkhead and the construction of a stone splash apron behind the existing bulkhead at 38 Bay Avenue along Hempstead Harbor in Sea Cliff to protect the property from future storm damage as a result of wind driven waves. All work for this project will be performed landward of the existing bulkhead which has been in existence prior to 1977. We are requesting approval for the following improvements to protect the existing shoreline and property of 38 Bay Avenue:

The existing bulkhead, currently at elevation 8.60± (NAVD88), will be raised to elevation 9.30± (NAVD88) with an 8"x8" CCA treaded exterior timber wale, a 6"x8" CCA treated rear wale and fiberglass grating. It is proposed to install a 121 foot long and 9.8 foot wide stone splash apron directly behind the existing bulkhead to stop further erosion due to storm and wave action. The splash apron will consist of two layers of stone with W50= 400 Lbs. (approximately 89 CY) over a 1 foot layer of stone bedding with W50= 20 Lbs. (approximately 38 CY). The existing bedding stone will be underlain with geotextile filter fabric.

The existing soil (approximate 130± CY), which must be excavated in order to install the stone, will be removed and legally disposed of off-site at a NYSDEC approved upland disposal area. The bottom of the splash apron is proposed to be installed a minimum of 6" above the existing tie rod, up to elevation 9.00± (NAVD88) and extend up at a 1:30 slope until elevation 9.36± (NAVD88) is reached (see General Plan for limits). The northern property line will be stabilized with a proposed 15' long Shoreguard SG550 vinyl sheeting bulkhead return with an anchorage system consisting of galvanized tie rod at 6' on center, CCA Pin Piles and a horizontal CCA lay log.

Note: Retaining walls will not be installed or modified. No fences will be installed.

# THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NY



LOCATION MAP



SCALE 1" = 1000 FT

## INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	GENERAL PLAN
4	MISCELLANEOUS DETAILS

PREPARED AND  
RECOMMENDED BY:

DATE: \_\_\_\_\_

RAYMOND DiBIASE, P.E., - NYSPE Lic. No. 56985



L. K. McLEAN ASSOCIATES, P.C.  
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NY 11719

## PRELIMINARY PLANS FOR SHORELINE STABILIZATION AT #38 BAY AVENUE ON HEMPSTEAD HARBOR

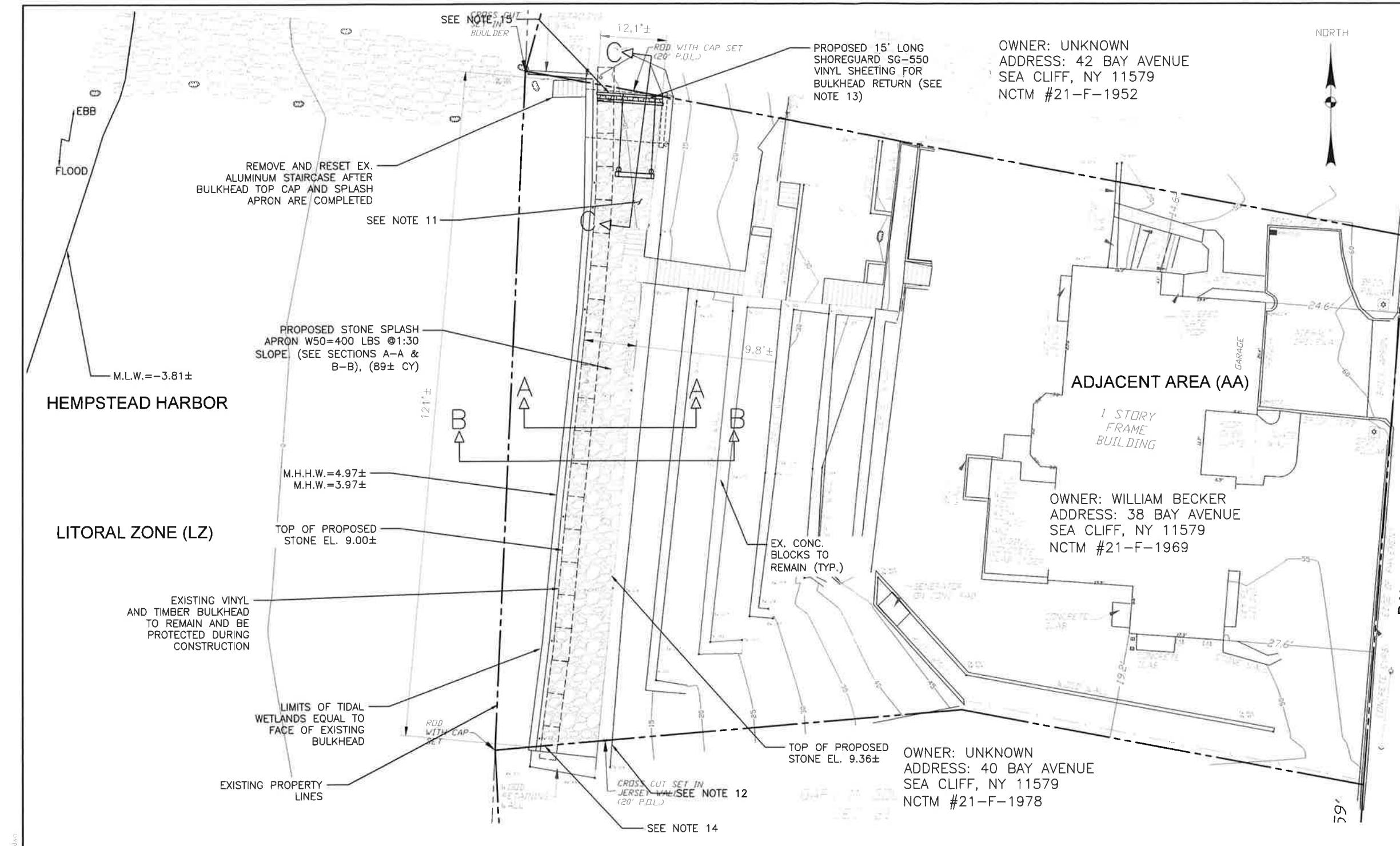
SEA CLIFF, NY

NOVEMBER 2020

ALL WORK CONTEMPLATED UNDER THIS CONTRACT  
IS TO BE COVERED BY AND IN CONFORMITY WITH  
THE 2008 NYSDOT STANDARD SPECIFICATIONS (U.S.  
CUSTOMARY UNITS), EXCEPT AS MODIFIED ON  
THESE PLANS AND IN THE ITEMIZED PROPOSAL.







OWNER: UNKNOWN  
 ADDRESS: 42 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1952

ADJACENT AREA (AA)

1 STORY  
 FRAME  
 BUILDING

OWNER: UNKNOWN  
 ADDRESS: 40 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1978

- NOTES:
- CONTRACTOR SHALL READ AND FOLLOW ALL PERMIT CONDITIONS AND SPECIAL CONDITIONS CONTAINED IN THE NYSDEC PERMIT TO ENSURE COMPLIANCE DURING THE TERM OF THE PERMIT.
  - HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
  - THE VERTICAL DATUM IS NAVD88.
  - CONTRACTOR SHALL RESTORE ANY DISTURBED AREA IN KIND.
  - CONTRACTOR SHALL NOTIFY NEIGHBORS TO THE NORTH AND SOUTH SIDE OF RIGHT OF WAY OF THE PROPOSED CONSTRUCTION START TIME.
  - CONTRACTORS SHALL REMOVE ALL DEBRIS, UNSUITABLE FILL MATERIALS, DEBRIS IN WATER AND DISPOSE OFF SITE. CLEAR AND GRUB EXISTING VEGETATION.
  - FILL SHALL BE FROM ON-SITE OR LOCAL SOURCES.
  - CONTRACTOR SHALL FILL IN ALL AREAS THE SAME DAY THE AREA IS EXCAVATED, A MAXIMUM OF 10' SHALL BE EXCAVATED AT ANY GIVEN TIME BEFORE BACKFILLING.
  - ALL EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF SITE AT A NYSDEC APPROVED UPLAND DISPOSAL AREA.
  - NO EXCAVATION SHALL BE PERFORMED SEAWARD OF THE EXISTING BULKHEAD.
  - STONE SHALL BE PLACED SO THAT FLAT SURFACE IS EXPOSED ON TOP OF SPLASH APRON.
  - CONTRACTOR SHALL EXCAVATE AT FOOTING OF MODULAR CONCRETE WALL ON SOUTH SIDE OF PROPERTY SO THAT THE ENGINEER CAN INSPECT THE FOUNDATION. IF IT IS OBSERVED THAT THE CONCRETE WALL IS SETTLING, THE CONTRACTOR SHALL REMOVE AND RESET THE EXISTING BLOCKS AS NECESSARY.
  - CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE EXISTING TIE RODS IN THE VICINITY OF THE PROPOSED BULKHEAD RETURN. THE APPROXIMATE LOCATION OF THE TIE ROD IS SHOWN ON THE PLAN VIEW. THE PROPOSED BULKHEAD RETURN SHALL BE SHIFTED A.O.B.E. TO AVOID CONFLICT WITH THE EXISTING TIE ROD AND ANCHORAGE SYSTEM.
  - CONTRACTOR SHALL RAISE THE ELEVATION OF THE SOUTH BULKHEAD RETURN IN ACCORDANCE WITH DETAIL "A" AS SHOWN ON MISCELLANEOUS DETAILS.
  - PROPERTY LINE ALONG THE NORTH SIDE OF 38 BAY AVENUE SHALL BE STAKED OUT BY A NYS LICENSED LAND SURVEYOR PRIOR TO INSTALLATION OF BULKHEAD RETURN AND STONE FOR SPLASH APRON.
  - CONTRACTOR SHALL ACCESS THE SITE VIA BARGE FROM HEMPSTEAD HARBOR.
  - CONTRACTOR MAY USE UPLAND EARTH MOVING EQUIPMENT ON BEACH AREA DURING PERIODS OF LOW TIDE ONLY.

**SITE PLAN**  
 SCALE 1"=10'



**LEGEND**

- PROPOSED STONE SPLASH APRON W50=400LBS (SEE SECTIONS A-A & B-B)
- PROPOSED SHOREGUARD SG-550 VINYL SHEETING FOR BULKHEAD RETURN
- EXISTING PROPERTY LINES
- EXISTING CONCRETE WALL BEHIND EXISTING BULKHEAD

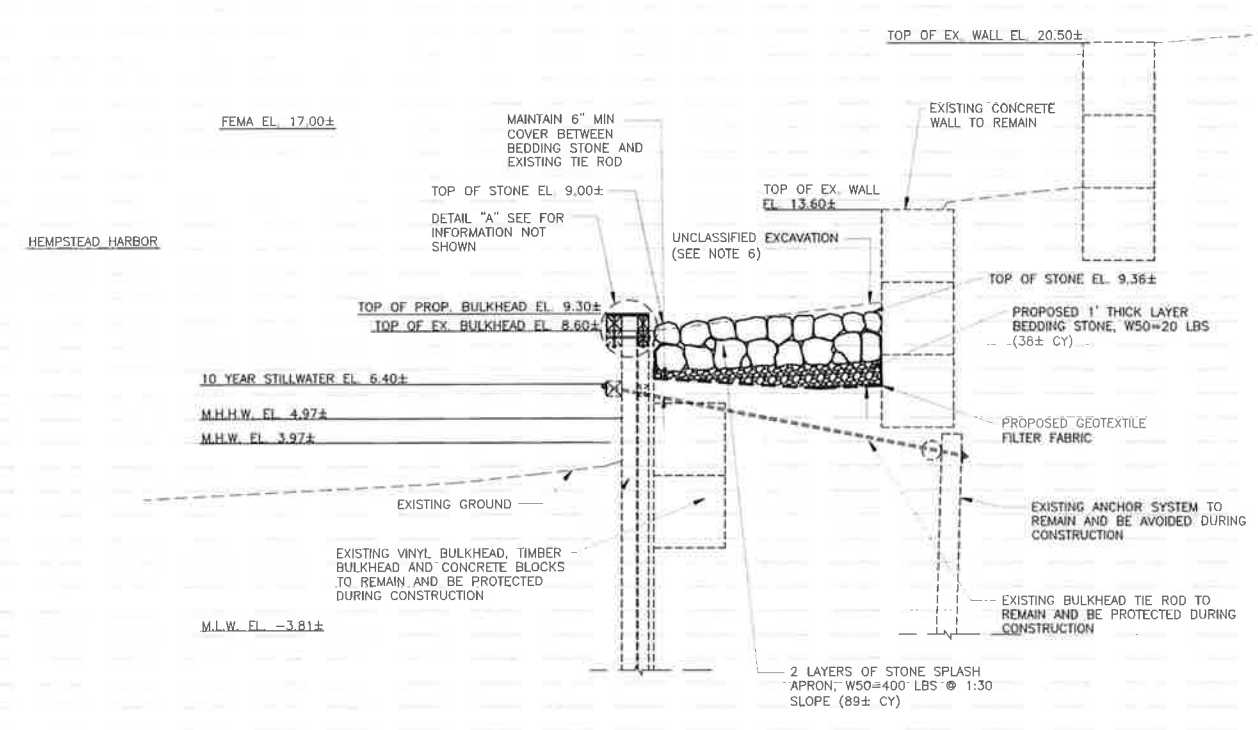
NCTM# 21-F-1969  
 SECTION-BLOCK-LOT

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
<b>THE INCORPORATED VILLAGE OF SEA CLIFF</b> NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 38 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
<b>GENERAL PLAN</b>			
<b>L. K. McLEAN ASSOCIATES, P.C.</b>			
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719			
Designed By:	KJM	Scale:	AS SHOWN
Drawn By:	DCR	Date:	NOVEMBER 2020
Approved By:	RAS	File No.:	20078.000
			Sheet No. 3 OF 4

Nov 02, 2020 10:54:21am P:\20078\000\_#21-F-1969\_Bay Avenue\_Sea Cliff\Civil\DWG\Contract\_Drawings\General\_Plan\_#28.dwg

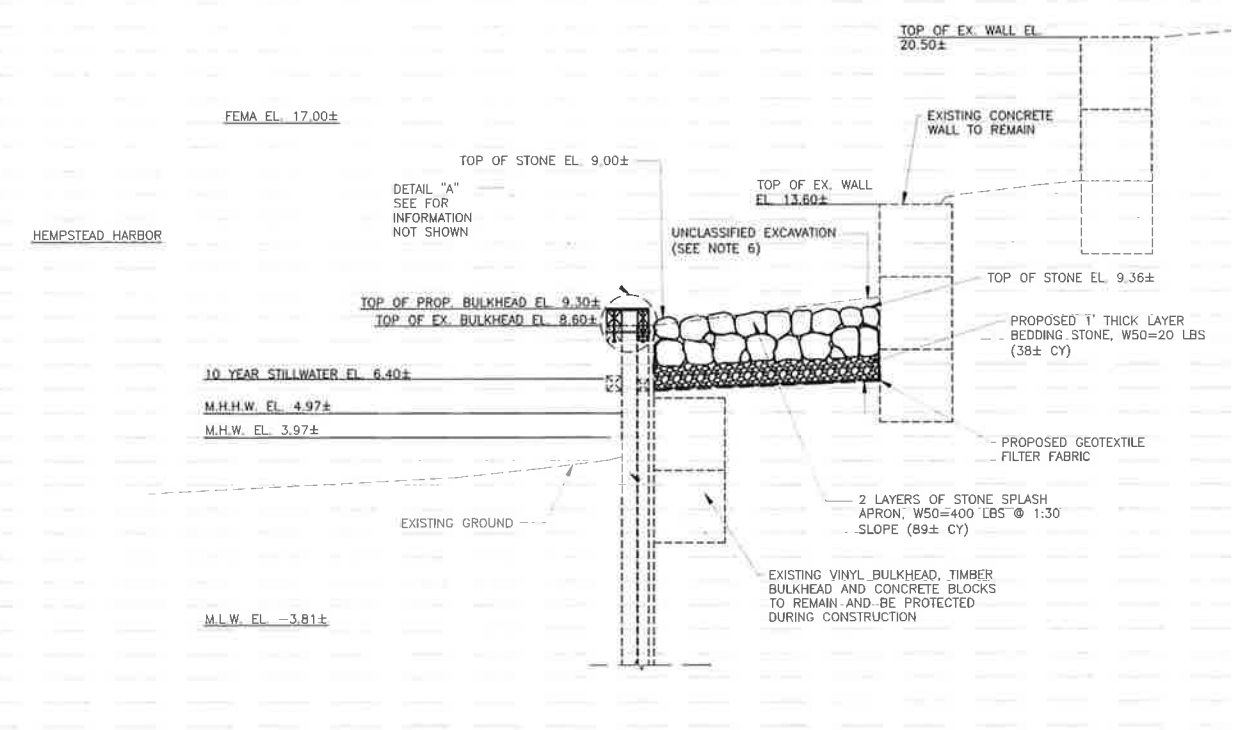


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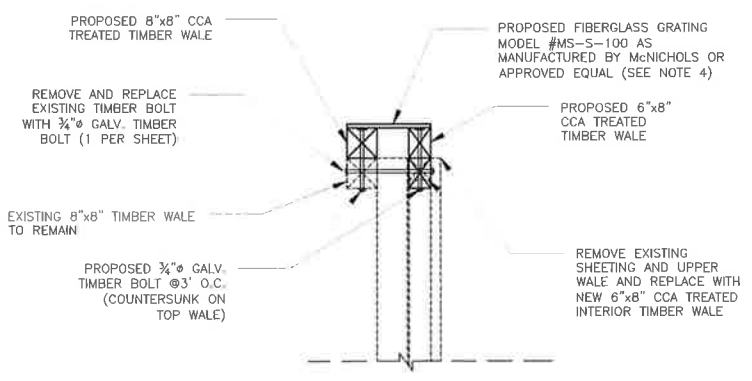


**SECTION A-A**  
STONE SPLASH APRON AT  
EXISTING BULKHEAD TIE ROD  
SCALE 1"=4'

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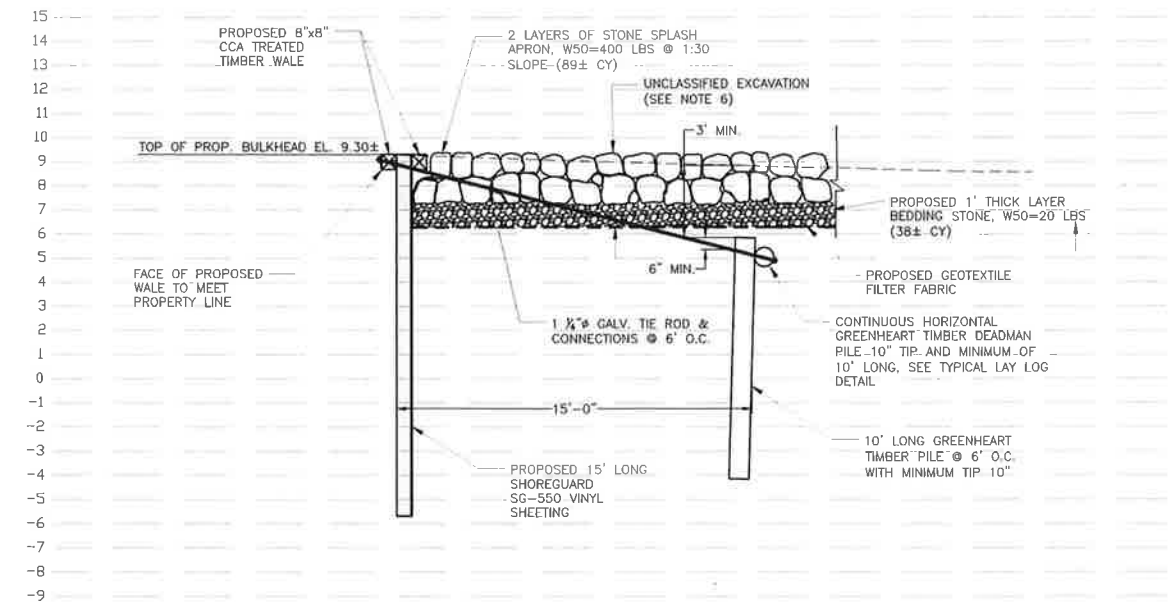


**SECTION B-B**  
STONE SPLASH APRON  
SCALE 1"=4'



**DETAIL "A"**  
N.T.S.

- NOTES:**
- HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
  - THE VERTICAL DATUM IS REFERENCED TO NAVD88.
  - CONTRACTOR SHALL EXPOSE EXISTING TIE RODS SO THAT E.I.C. CAN ASSESS THEIR CONDITION. IF TIE RODS ARE FOUND TO BE IN POOR CONDITION, CONTRACTOR SHALL INSTALL HELICAL PILES A.O.B.E.
  - FIBERGLASS GRATING SHALL BE FASTENED TO PROPOSED TIMBER WALES WITH S.S. HARDWARE AS RECOMMENDED BY MANUFACTURER.
  - ALL THE STONE IS TO BE PLACED LANDWARD OF THE EXISTING BULKHEAD AND ABOVE M.H.H.W.
  - EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF AT AN NYSDEC APPROVED UPLAND FACILITY (APPX 130± CY).



**SECTION C-C**  
STONE SPLASH APRON  
SCALE 1"=4'

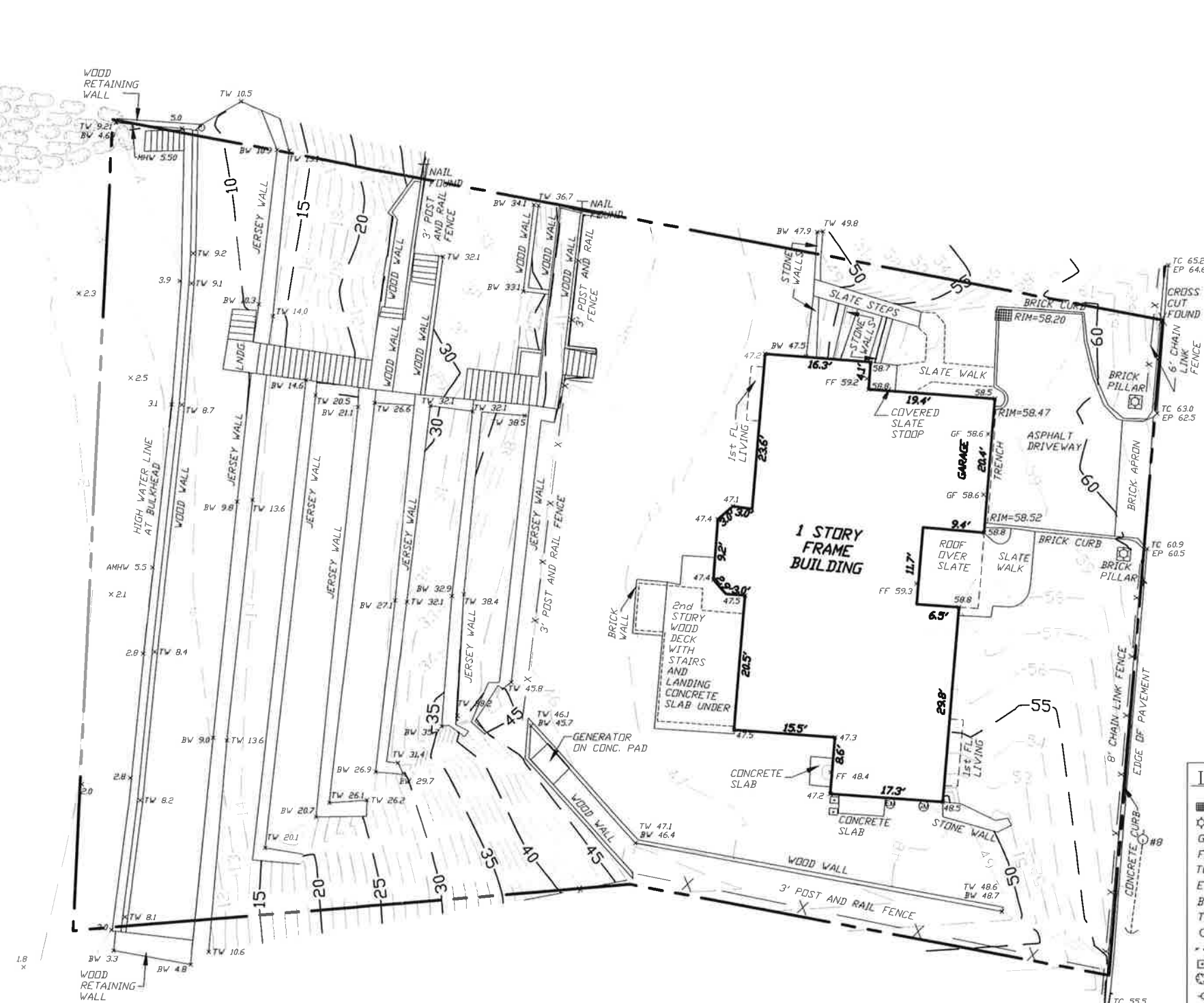
TABLE OF STONE	
ARMOR STONE	89± CY
BEDDING STONE	38± CY

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
<b>THE INCORPORATED VILLAGE OF SEA CLIFF</b> NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 38 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
<b>MISCELLANEOUS DETAILS</b>			
<b>L. K. McLEAN ASSOCIATES, P.C.</b>			
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719			
Designed By:	KJM	Scale:	AS SHOWN
Drawn By:	DCR	Date:	NOVEMBER 2020
Approved By:	RAS	File No.:	20078.000
		Sheet No.:	4 OF 4

Ms. 05-2020 - 0118 Rev. 1  
 15-A-20078-000-PS-38 Bay Avenue Sea Cliff, NY 11563  
 LKMA-2020-000-PS-38 Bay Avenue Sea Cliff, NY 11563  
 LKMA-2020-000-PS-38 Bay Avenue Sea Cliff, NY 11563  
 LKMA-2020-000-PS-38 Bay Avenue Sea Cliff, NY 11563

HEMPSTEAD HARBOR

LOW WATER LINE 05/23/2020 9:25AM



**LEGEND**

- RECTANGULAR DRAIN INLET
- ⊙ DECORATIVE LAMP
- GF GARAGE FLOOR
- FF FIRST FLOOR
- TC TOP CURB
- EP EDGE OF PAVEMENT
- BW BOTTOM WALL
- TW TOP WALL
- POST
- SPOT ELEVATION
- IRRIGATION BOX
- ⊕ RIP RAP
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRIC METER
- ⊙ GAS METER
- AMHW APPROX. MEAN HIGH WATER

- NOTES**
- MEASUREMENTS ARE IN ACCORDANCE WITH U.S. STANDARDS.
  - ELEVATIONS REFERENCE NAVD 1988.
  - UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
  - ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S "EMBOSSSED" OR "INKED" SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
  - CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
  - RIGHTS-OF-WAY NOT SHOWN ARE NOT CERTIFIED.

NASSAU COUNTY REAL PROPERTY TAX MAP  
 SECTION 21  
 BLOCK F  
 LOT 1969

I hereby certify that this map was made from an actual survey completed by me on 06/23/2020.

TAMARA L. STILLMAN, P.L.S.  
 NYSPLS No. 50528

DATE	BY	DESCRIPTION	APPROV. BY
<b>REVISIONS</b>			
Town of Oyster Bay Nassau County, New York			
38 Bay Avenue, Sea Cliff			
Topographic Survey			
L. K. McLEAN ASSOCIATES, P.C. CONSULTING ENGINEERS & LAND SURVEYORS 437 SO. COUNTRY ROAD, BROOKHAVEN, NEW YORK			
Surveyed By: P.L./D.M.	Scale: 1" = 20'	Sheet No.	
Drawn By: D.M.	Date: 07/06/2020	1	
Approved By: T.L.S.	File No: 20078.000	1	

**SHORELINE STABILIZATION AT #38 BAY AVENUE  
ON HEMPSTEAD HARBOR, SEA CLIFF NEW YORK**



PHOTO 1  
(SEE EXISTING CONDITIONS PLAN)



PHOTO 2  
(SEE EXISTING CONDITIONS PLAN)

SHORELINE STABILIZATION AT #38 BAY AVE.  
EXISTING CONDITIONS PHOTOS FEBRUARY 2020





PHOTO 3  
(SEE EXISTING CONDITIONS PLAN)



PHOTO 4  
(SEE EXISTING CONDITIONS PLAN)

SHORELINE STABILIZATION AT #38 BAY AVE.  
EXISTING CONDITIONS PHOTOS FEBRUARY 2020



L, K, McLEAN ASSOCIATES, P.C.

SEA CLIFF N.Y.

James Guardino  
Or Current Owner  
42 Bay Ave  
Sea Cliff NY 11579

Gary & Rhoda Goldin  
Or Current Owner  
40 Bay Ave  
Sea Cliff NY 11579

32 Bay Ave LLC  
Or Current Owner  
32 Bay Ave  
Sea Cliff NY 11579

John & Constance Canning  
Or Current Owner  
108 18<sup>th</sup> Ave  
Sea Cliff NY 11579

Dianne Fanger  
Or Current Owner  
65 20<sup>th</sup> Ave  
Sea Cliff NY 11579

Esther Gasser  
Or Current Owner  
224 Prospect Ave  
Sea Cliff NY 11579

Christopher Nielsen  
Or Current Owner  
105 18<sup>th</sup> Ave  
Sea Cliff NY 11579

MaryAnn Kraker  
Or Current Owner  
35 Bay Ave  
Sea Cliff NY 11579

Louis & Esther Gasser  
Or Current Owner  
39 Bay Ave  
Sea Cliff NY 11579

14 Bay Ave Commons, LLC  
c/o Eugene Alletto  
200 Sea Lane  
Farmingdale NY 11735

Paul Anderson  
Or Current Owner  
1 Bay Ave  
Sea Cliff NY 11579

Melisa Geller  
Or Current Owner  
16 Sheridan Lane  
Sea Cliff NY 11579

Natasha Karmiloff  
Or Current Owner  
139 17<sup>th</sup> Ave  
Sea Cliff NY 11579

Gregg & Alison Lerman  
Or Current Owner  
173 16<sup>th</sup> Ave  
Sea Cliff NY 11579

Dennis Buckley  
Or Current Owner  
25 Bay Ave  
Sea Cliff NY 11579

Thomas Pitegoff  
Or Current Owner  
24 Bay Ave  
Sea Cliff NY 11579

Christopher Doran  
Or Current Owner  
6 Bay Ave  
Sea Cliff NY 11579

Donald Kavanaugh  
Or Current Owner  
142 17<sup>th</sup> Ave  
Sea Cliff NY 11579

DONALD & LAURA KAVANAGH  
142 17<sup>TH</sup> AVENUE  
SEA CLIFF, NEW YORK 11579  
516 484-0254

December 9, 2020

Chairman Bruce Trieber  
& Members of the Planning Board  
Incorporated Village of Sea Cliff  
300 Sea Cliff Avenue  
Sea Cliff, New York 11579

Re: Applicants: Sebastian Le, 26 Bay Avenue  
William Becker, 38 Bay Avenue  
Charles & Elizabeth Weinstein, 30 Bay Avenue

Dear Chairman Trieber and Members of the Board:

We reside on 17<sup>th</sup> Avenue, a few houses away from the applicants.

We are familiar with the shoreline along these properties and the condition of the present bulkheads. We believe that these applications for bulkhead extension and shoreline stabilization work will help stabilize the bluff and will be beneficial not only to these properties but to the adjoining properties and the neighborhood as well.

We respectfully request that the Planning Board approve these applications.

Very truly yours,



Donald Kavanagh



Laura Kavanagh

December 13, 2020

Planning Board  
Village of Sea Cliff, NY

**Re: Shoreline Stabilization Meeting on 12/17 – Applications of 26, 30 and 38 Bay Avenue**

I am a member of 32 BAY AVENUE, LLC which owns 32 Bay Avenue. I am writing to you on regarding the shoreline stabilization applications of my neighbors and their adjacent properties.

32 Bay Ave. is experiencing significant erosion and land shift, from the toe of the hill at seaside and along the 18th Ave. paper street to Bay Avenue. Over the last three years since I purchased the property, I have observed that there has been a significant amount of water rushing along my property line from the top of Bay Avenue and 18<sup>th</sup> Street, which has undermined the retaining walls as well as created significant rot of the wooden portion as well. This is due to an inadequate storm drain which catches and pools the majority of the water at the top of the hill, as well as that storm drain being broken in multiple places, due to the erosion on this vacant property that the Village owns. The reason I bring this to your attention is that it has been well documented by engineers and we have notified the Trustees and the Mayor as well that, due to this, we are on unstable ground.

Significant washout under the retaining walls has also occurred from the shoreline, due to the fact that there is no bulkhead on the vacant Village land. It is clearly visible that the cliff has been washed away as the water is able to come upland and around my own bulkhead. These two factors have led to severe ground depression, settling and land shift. We have had our septic system disrupted by this movement, causing our pipes to disconnect underground. I'm getting cracks in the foundation of my home and there's several feet of sloped depression in my yard. As a necessary protective measure, it has been requested for temporary bracing along the 18th Ave. former stairs before any construction is done anywhere remotely close to this unstable property. I have already absorbed the cost of design and engineering for this bracing and submitted plans for this bracing, with the intent to pay for same.

The engineer has also informed the Village that any construction prior to this temporary bracing has the potential for a catastrophic failure -- I am enclosing a copy of the Engineer's letter that has been sent most recently to the Village regarding this issue. I am also including the invoice for the new pipe that we just put in the ground to repair the home to septic break due to the shifting of the landmass. This will be the second time we've done this in only two years while we continue to request the Village to take our concern seriously.

I'm also sending a copy of this letter to the Engineer that was hired for the shoreline stabilization of the three properties on Bay, so that they are made aware of the significant issue with the adjacent properties. Based off of the situation at 14 Bay Ave., with poor engineering then left for many years to further erode and decline, creating an increasingly unstable cliffside and difficult renovation, I am sure we all want to avoid this type of catastrophe again.

While I am encouraged that others are taking action to harden their shorelines and illuminate a significant event on Bay Avenue and I do support the applications of my neighbors, it is critical to realize that this work can only safely proceed if a bulkhead is equally applied to the Village property to create a cohesive plan, along with bracing to my retaining walls. Anything other than this risks complete collapse of my home as result of any further movement.

We request the board review the documentation attached to this letter. We would also ask you to make sure to provide the following items to us:

- 1 – What has been filed with the DEC in sufficient time to have our engineers review, ensuring it is not going to create an issue with our current Dec plans and engineering.
- 2 – Construction plans, methods and work plan addressing details of site preparation, staging and barge location. Due to the significant risk and current erosion, we are looking to ensure that the property line is separated and not combined.
- 3 – A new survey and control lines with markers that are clearly visible. In addition, there must be monitoring to ensure that all final work is located properly and in coordination with the latest boundary demarcation codes.

Finally, we must have site seismic monitoring detail, as well as disclosure of the company that will be performing this work. Our engineers are very concerned with any construction due to the instability of the cliff and the continuous amount of erosion.

It was made very clear to us that having a consistent shoreline in both height and construction methods will provide us the best outcome for the entire cliff and since the properties are all linked together, there must be a hardening of ALL the property lines, so they are NOT the weak link.

Thank you,

Shana Rocheleau  
Member  
32 BAY AVENUE, LLC

Cc: Keith J. Masseria, P.E.  
L. K. McLean Associates, P.C.



# NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

## Division of Environmental Permits, Region 1

SUNY @ Stony Brook, 50 Circle Road, Stony Brook, NY 11790

P: (631) 444-0365 | F: (631) 444-0360

www.dec.ny.gov

January 27, 2021

William Becker  
38 Bay Avenue  
Sea Cliff, NY 11579

Re: Permit ID 1-2824-02758/00004  
Becker Property  
38 Bay Avenue  
Sea Cliff  
Expiration Date: 1/26/2026

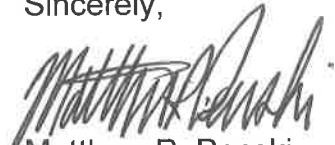
Dear Permittee:

In conformance with the requirements of the State Uniform Procedures Act (Article 70, ECL) and its implementing regulations (6 NYCRR, Part 621) we are enclosing your permit. Please carefully read all permit conditions contained in the permit to ensure compliance during the term of the permit. If you are unable to comply with any conditions, please contact us at the above address.

Also enclosed is a permit sign which is to be conspicuously posted at the project site and protected from the weather and a Notice of Commencement / Completion of Construction form. Please note, the permit sign and form are sent to either the permittee or the facility application contact, not both.

Please be advised that this permit does not relieve you of the responsibility of obtaining any necessary permits or approvals from local municipalities or other agencies.

Sincerely,



Matthew R. Penski  
Environmental Analyst

### Distribution List:

L.K. McLean Associates, P.C.  
BMHP  
File



NEW YORK  
STATE OF  
OPPORTUNITY

Department of  
Environmental  
Conservation



**PERMIT**  
**Under the Environmental Conservation Law (ECL)**

**Permittee and Facility Information**

**Permit Issued To:**  
WILLIAM BECKER  
38 BAY AVE  
SEA CLIFF, NY 11579  
(516) 609-8417

**Facility:**  
BECKER PROPERTY  
38 BAY AVE|NCTM#21-F-1969  
SEA CLIFF, NY 11579

**Facility Application Contact:**  
KEITH MASSERIA  
437 S COUNTRY RD  
BROOKHAVEN, NY 11719

**Facility Location:** in OYSTER BAY in NASSAU COUNTY **Village:** Sea Cliff  
**Facility Principal Reference Point:** NYTM-E: 613.562 NYTM-N: 4522.567  
Latitude: 40°50'46.6" Longitude: 73°39'10.3"

**Project Location:** Hempstead Harbor

**Authorized Activity:** Raise the height of the existing bulkhead, excavate and install a stone splash pad landward of the existing bulkhead. Remove and replace the existing stairs to grade. All work shall be performed in accordance with the plans by L.K. McLean Associates, P.C. dated November 2020, and stamped NYSDEC Approved on 1/27/2021. In accordance with Letter of No-Jurisdiction 1-2824-01263/00001 dated December 19, 1996, the portion of the property landward of the seawall [timber bulkhead] is beyond the jurisdiction of Article 25 (Tidal Wetlands Act). ARNO-DEP

**Permit Authorizations**

**Tidal Wetlands - Under Article 25**

Permit ID 1-2824-02758/00004

New Permit

Effective Date: 1/27/2021

Expiration Date: 1/26/2026

**Excavation & Fill in Navigable Waters - Under Article 15, Title 5**

Permit ID 1-2824-02758/00005

New Permit

Effective Date: 1/27/2021

Expiration Date: 1/26/2026

**Water Quality Certification - Under Section 401 - Clean Water Act**

Permit ID 1-2824-02758/00006

New Permit

Effective Date: 1/27/2021

Expiration Date: 1/26/2026

**NYSDEC Approval**

**By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.**



Permit Administrator: JOHN A WIELAND, Deputy Regional Permit Administrator  
Address:

NYSDEC Region 1 Headquarters  
SUNY @ Stony Brook | 50 Circle Rd  
Stony Brook, NY 11790 -3409

Authorized Signature: \_\_\_\_\_

Date 01/28/2021

**Distribution List**

KEITH MASSERIA  
Marine Habitat Protection  
Environmental Permits

**Permit Components**

- NATURAL RESOURCE PERMIT CONDITIONS
- WATER QUALITY CERTIFICATION SPECIFIC CONDITION
- GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS
- NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

**NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: TIDAL WETLANDS; EXCAVATION & FILL IN NAVIGABLE WATERS; WATER QUALITY CERTIFICATION**

- 1. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by L.K. McLean Associates, P.C. dated November 2020, and stamped NYSDEC Approved on 1/27/2021..
- 2. Storage of Equipment, Materials** The storage of construction equipment and materials shall be confined to the upland area landward of the bulkhead or on a barge.
- 3. Top Cap / Bulkhead Maximum Height** The height of the top cap / bulkhead shall be no more than 18 inches higher than the existing bulkhead.
- 4. Use of Treated Wood** The use of wood treated with Pentachlorophenol or other wood treatment not specifically approved by the Department for use in wetlands and/or marine waters, is strictly prohibited in the construction of structures that will be in contact with tidal waters.
- 5. No Runoff Over or Through Bulkhead or into Wetland** There shall be no discharge of runoff or other effluent over or through any bulkhead or shoreline stabilization structure or into any tidal wetland or protected buffer area.



**6. No Disturbance to Vegetated Tidal Wetlands** There shall be no disturbance to vegetated tidal wetlands or protected buffer areas as a result of the permitted activities.

**7. No Dredging or Excavation** No dredging, excavating or other alteration of shoreline or underwater areas is authorized by this permit, nor shall issuance of this permit be construed to suggest that the Department will issue a permit for such activities in the future.

**8. Materials Disposed at Upland Site** Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of in an authorized solid waste management facility. These materials shall be suitably stabilized as not to re-enter any water body, wetland or wetland adjacent area.

**9. No Construction Debris in Wetland or Adjacent Area** Any debris or excess material from construction of this project shall be completely removed from the adjacent area (upland) and removed to an approved upland area for disposal. No debris is permitted in wetlands and/or protected buffer areas.

**10. No Interference With Navigation** There shall be no unreasonable interference with navigation by the work herein authorized.

**11. State Not Liable for Damage** The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

**12. State May Order Removal or Alteration of Work** If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

**13. State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

**14. Precautions Against Contamination of Waters** All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.



## WATER QUALITY CERTIFICATION SPECIFIC CONDITIONS

**1. Water Quality Certification** The authorized project, as conditioned pursuant to the Certificate, complies with Section 301, 302, 303, 306, and 307 of the Federal Water Pollution Control Act, as amended and as implemented by the limitations, standards, and criteria of state statutory and regulatory requirements set forth in 6 NYCRR Section 608.9(a). The authorized project, as conditioned, will also comply with applicable New York State water quality standards, including but not limited to effluent limitations, best usages and thermal discharge criteria, as applicable, as set forth in 6 NYCRR Parts 701, 702, 703, and 704.

## GENERAL CONDITIONS - Apply to ALL Authorized Permits:

**1. Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

**2. Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

**3. Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator  
NYSDEC Region 1 Headquarters  
SUNY @ Stony Brook|50 Circle Rd  
Stony Brook, NY11790 -3409



**4. Submission of Renewal Application** The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Excavation & Fill in Navigable Waters, Tidal Wetlands, Water Quality Certification.

**5. Permit Modifications, Suspensions and Revocations by the Department** The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

**6. Permit Transfer** Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

## NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

### **Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification**

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

### **Item B: Permittee's Contractors to Comply with Permit**

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.



**Item C: Permittee Responsible for Obtaining Other Required Permits**

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

**Item D: No Right to Trespass or Interfere with Riparian Rights**

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

**NOTICE OF COMMENCEMENT OF CONSTRUCTION**



RETURN THIS FORM TO: COMPLIANCE

Marine Habitat Protection  
NYSDEC  
50 Circle Road SUNY@ Stony Brook  
Stony Brook, NY 11790-3409

OR FAX TO: 631-444-0272

E-Mail: [dec.sm.R1MHP\\_BEH@dec.ny.gov](mailto:dec.sm.R1MHP_BEH@dec.ny.gov)

PERMIT NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

PERMITTEE NAME & PROJECT ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

CONTRACTOR NAME & ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

TELEPHONE: \_\_\_\_\_

Dear Sir:  
Pursuant to **special conditions** of the referenced permit, you are hereby notified that the authorized activity shall commence on \_\_\_\_\_. We certify that we have read the referenced permit and approved plans and fully understand the authorized project and all permit conditions. We have inspected the project site and can complete the project as described in the permit and as depicted on the approved plans. We can do so in full compliance with all plan notes and permit conditions. The permit, permit sign, and approved plans will be available at the site for inspection in accordance with general Condition No. 1. **(Both signatures required)**

PERMITEE: \_\_\_\_\_ DATE \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ DATE \_\_\_\_\_

*THIS NOTICE MUST BE SENT TO THE ABOVE ADDRESS AT LEAST TWO DAYS PRIOR TO COMMENCEMENT OF THE PROJECT AND /OR ANY ASSOCIATED REGULATED ACTIVITIES. FAILURE TO RETURN THIS NOTICE, POST THE PERMIT SIGN, OR HAVE THE PERMIT AND APPROVED PLANS AVAILABLE AT THE WORK SITE FOR THE DURATION OF THE PROJECT MAY SUBJECT THE PERMITEE AND/OR CONTRACTOR TO APPLICABLE SANCTIONS AND PENALTIES FOR NON-COMPLIANCE WITH PERMIT CONDITIONS.*

Cut along this line X X X X X X X X

**NOTICE OF COMPLETION OF CONSTRUCTION**



RETURN THIS FORM TO: COMPLIANCE

Marine Habitat Protection  
NYSDEC  
50 Circle Road SUNY@ Stony Brook  
Stony Brook, NY 11790-3409

OR FAX TO: 631-444-0272

E-Mail: [dec.sm.R1MHP\\_BEH@dec.ny.gov](mailto:dec.sm.R1MHP_BEH@dec.ny.gov)

PERMIT NUMBER: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

PERMITTEE NAME & PROJECT ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

CONTRACTOR NAME & ADDRESS: \_\_\_\_\_  
\_\_\_\_\_

TELEPHONE: \_\_\_\_\_

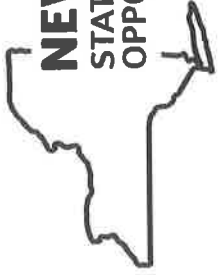
Pursuant to **special conditions** of the referenced permit, you are hereby notified that the authorized activity was completed on \_\_\_\_\_. We have fully complied with the terms and conditions of the permit and approved plans. **(Both signatures required)**

PERMITEE: \_\_\_\_\_ DATE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ DATE: \_\_\_\_\_

*THIS NOTICE, WITH PHOTOGRAPHS OF THE COMPLETED WORK AND/OR A COMPLETED SURVEY, AS APPROPRIATE, MUST BE SENT TO THE ABOVE ADDRESS WITHIN 30 DAYS OF COMPLETION OF THE PROJECT.*





**NEW YORK**  
STATE OF  
OPPORTUNITY.

**Department of  
Environmental  
Conservation**

# NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Departmental conditions on it, contact the Regional Permit Administrator listed below. Please refer to the permit number shown when contacting the DEC.

Regional Permit Administrator

Permit Number 1-2824-02758/00004

**SUSAN ACKERMAN**

Expiration Date 1/26/2026

NOTE: This notice is **NOT** a permit



OWNER: UNKNOWN  
 ADDRESS: 42 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1952

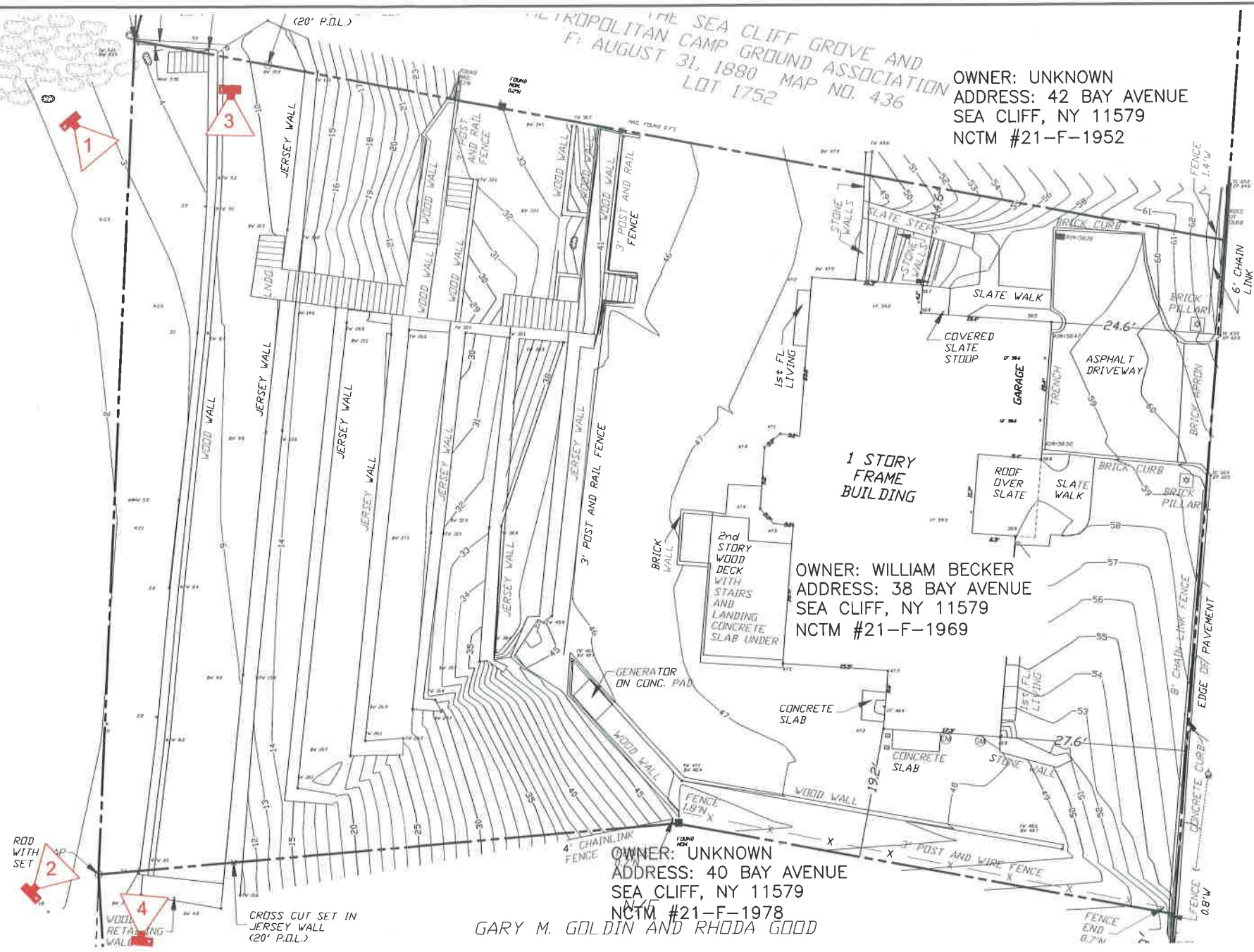
OWNER: WILLIAM BECKER  
 ADDRESS: 38 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1969

OWNER: UNKNOWN  
 ADDRESS: 40 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1978  
 GARY M. GOLDIN AND RHODA GOOD

HEMPSTEAD HARBOR

BAY AVENUE

*1 of 3*  
 NYSDEC  
 APPROVED AS PER TERMS  
 AND CONDITIONS OF  
 PERMIT NO 1-2824-02758/00004  
 DATE 1/27/2021 *MRP*



**SITE PLAN**  
 SCALE 1"=10'



**LEGEND:**

- DIRECTION OF PHOTO TAKEN
- DIRECTION OF PHOTO TAKEN
- NCTM# 21-F-1969 SECTION-BLOCK-LOT
- EXISTING PROPERTY LINES



PHOTO NO. 1



PHOTO NO. 2



PHOTO NO. 3

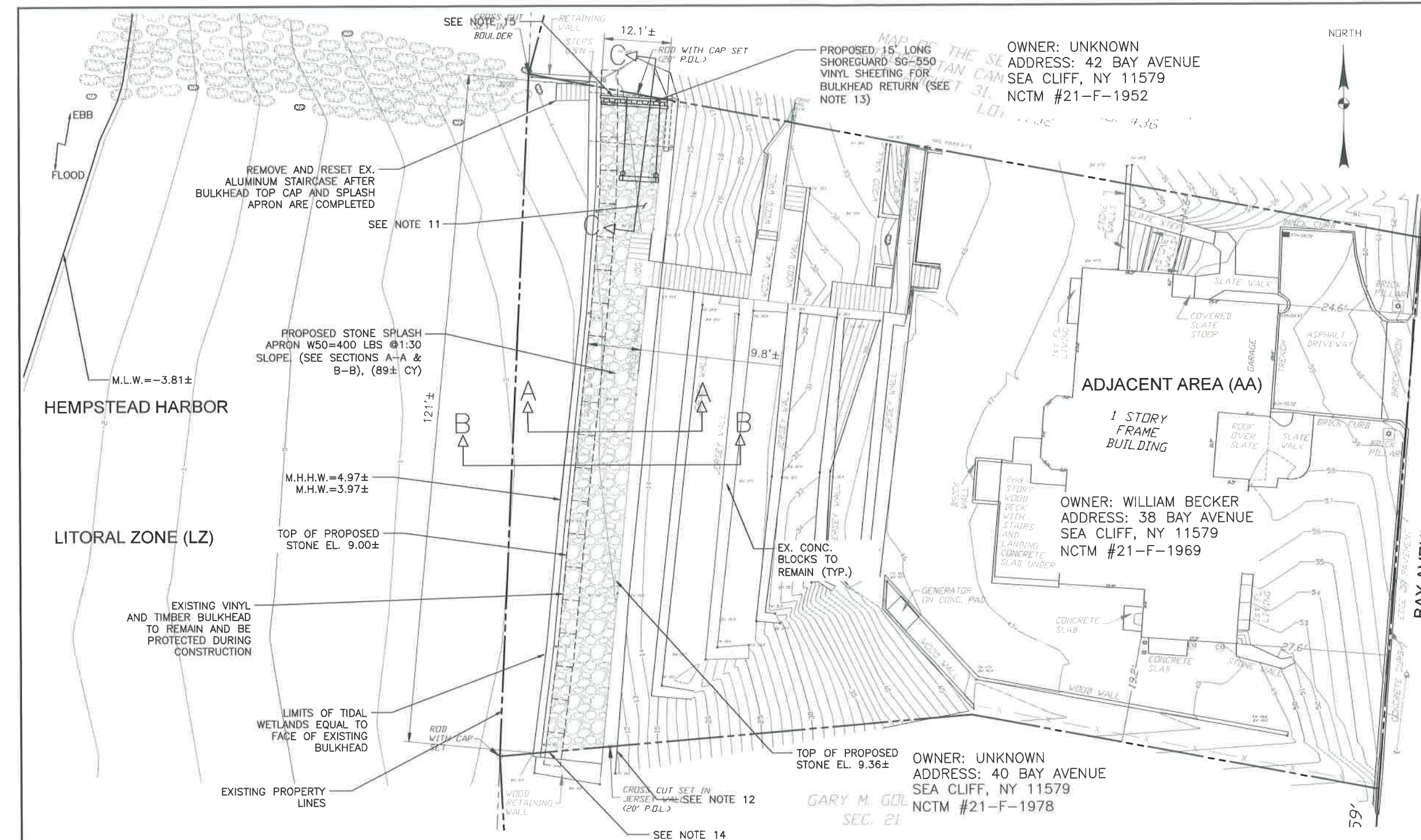


PHOTO NO. 4

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 38 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
EXISTING CONDITIONS			
L. K. McLEAN ASSOCIATES, P.C.			
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719			
Designed By:	KJM	Scale:	AS SHOWN
Drawn By:	DCR	Date:	NOVEMBER 2020
Approved By:	RAS	File No.:	20078.000
			2 OF 4

Nov 09 10:00 AM 01:47 PM  
 P:\20078 000 #18 Bay Avenue Sea Cliff\Civil DWG\Contract Drawings\Existing Conditions Plan #38.dwg









OWNER: UNKNOWN  
 ADDRESS: 42 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1952

OWNER: WILLIAM BECKER  
 ADDRESS: 38 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1969

OWNER: UNKNOWN  
 ADDRESS: 40 BAY AVENUE  
 SEA CLIFF, NY 11579  
 NCTM #21-F-1978

- NOTES:
1. CONTRACTOR SHALL READ AND FOLLOW ALL PERMIT CONDITIONS AND SPECIAL CONDITIONS CONTAINED IN THE NYSDEC PERMIT TO ENSURE COMPLIANCE DURING THE TERM OF THE PERMIT.
  2. HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
  3. THE VERTICAL DATUM IS NAVD88.
  4. CONTRACTOR SHALL RESTORE ANY DISTURBED AREA IN KIND.
  5. CONTRACTOR SHALL NOTIFY NEIGHBORS TO THE NORTH AND SOUTH SIDE OF RIGHT OF WAY OF THE PROPOSED CONSTRUCTION START TIME.
  6. CONTRACTORS SHALL REMOVE ALL DEBRIS, UNSUITABLE FILL MATERIALS, DEBRIS IN WATER AND DISPOSE OFF SITE. CLEAR AND GRUB EXISTING VEGETATION.
  7. FILL SHALL BE FROM ON-SITE OR LOCAL SOURCES.
  8. CONTRACTOR SHALL FILL IN ALL AREAS THE SAME DAY THE AREA IS EXCAVATED. A MAXIMUM OF 10' SHALL BE EXCAVATED AT ANY GIVEN TIME BEFORE BACKFILLING.
  9. ALL EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF OFF SITE AT A NYSDEC APPROVED UPLAND DISPOSAL AREA.
  10. NO EXCAVATION SHALL BE PERFORMED SEAWARD OF THE EXISTING BULKHEAD.
  11. STONE SHALL BE PLACED SO THAT FLAT SURFACE IS EXPOSED ON TOP OF SPLASH APRON.
  12. CONTRACTOR SHALL EXCAVATE AT FOOTING OF MODULAR CONCRETE WALL ON SOUTH SIDE OF PROPERTY SO THAT THE ENGINEER CAN INSPECT THE FOUNDATION. IF IT IS OBSERVED THAT THE CONCRETE WALL IS SETTLING, THE CONTRACTOR SHALL REMOVE AND RESET THE EXISTING BLOCKS AS NECESSARY.
  13. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE EXISTING TIE RODS IN THE VICINITY OF THE PROPOSED BULKHEAD RETURN. THE APPROXIMATE LOCATION OF THE TIE ROD IS SHOWN ON THE PLAN VIEW. THE PROPOSED BULKHEAD RETURN SHALL BE SHIFTED A.O.B.E. TO AVOID CONFLICT WITH THE EXISTING TIE ROD AND ANCHORAGE SYSTEM.
  14. CONTRACTOR SHALL RAISE THE ELEVATION OF THE SOUTH BULKHEAD RETURN IN ACCORDANCE WITH DETAIL "A" AS SHOWN ON MISCELLANEOUS DETAILS.
  15. PROPERTY LINE ALONG THE NORTH SIDE OF 38 BAY AVENUE SHALL BE STAKED OUT BY A NYS LICENSED LAND SURVEYOR PRIOR TO INSTALLATION OF BULKHEAD RETURN AND STONE FOR SPLASH APRON.
  16. CONTRACTOR SHALL ACCESS THE SITE VIA BARGE FROM HEMPSTEAD HARBOR.
  17. CONTRACTOR MAY USE UPLAND EARTH MOVING EQUIPMENT ON BEACH AREA DURING PERIODS OF LOW TIDE ONLY.

**LEGEND**

-  PROPOSED STONE SPLASH APRON W50=400LBS (SEE SECTIONS A-A & B-B)
-  PROPOSED SHOREGUARD SG-550 VINYL SHEETING FOR BULKHEAD RETURN
-  EXISTING PROPERTY LINES
-  EXISTING CONCRETE WALL BEHIND EXISTING BULKHEAD

**SITE PLAN**  
 SCALE 1"=10'

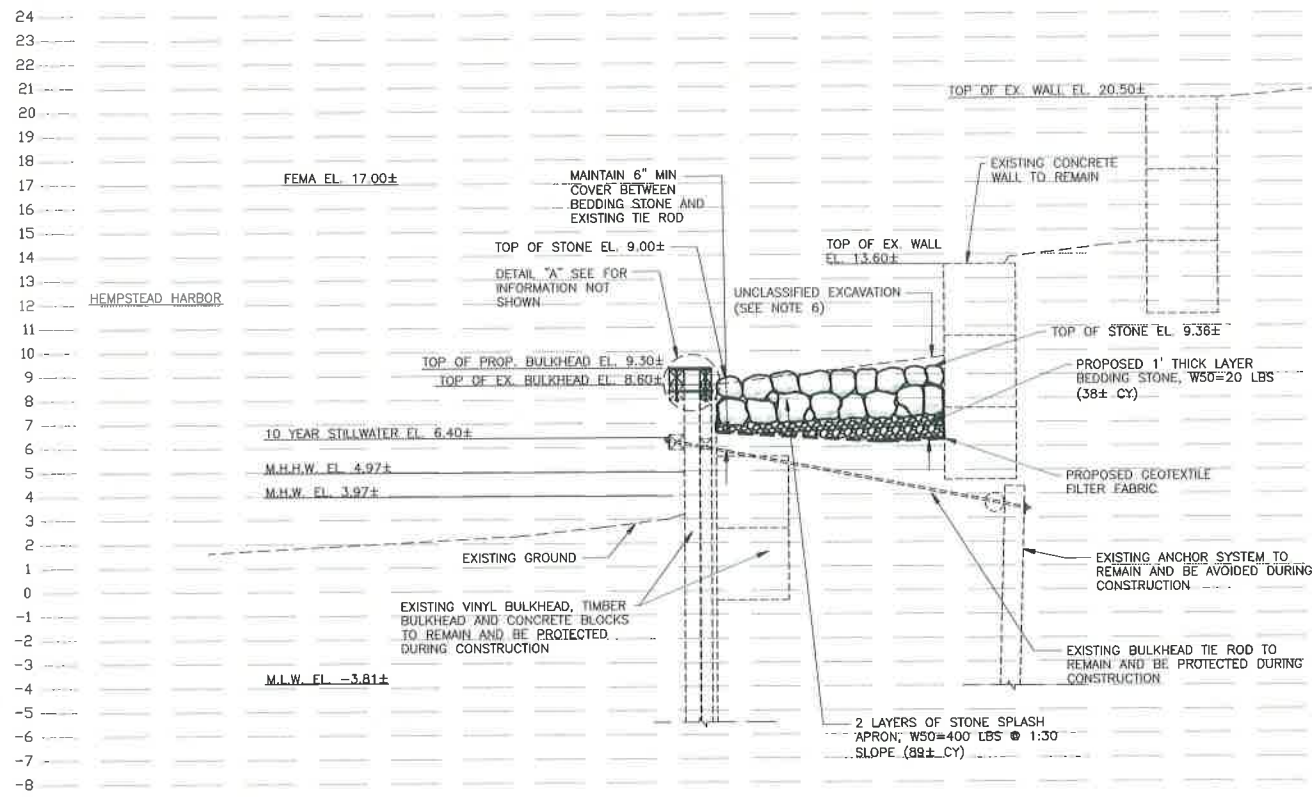


NYSDEC **2 of 3**  
 APPROVED AS PER TERMS  
 AND CONDITIONS OF  
 PERMIT NO. 1-2824-02758/00004  
 DATE 1/27/2021 *MA*

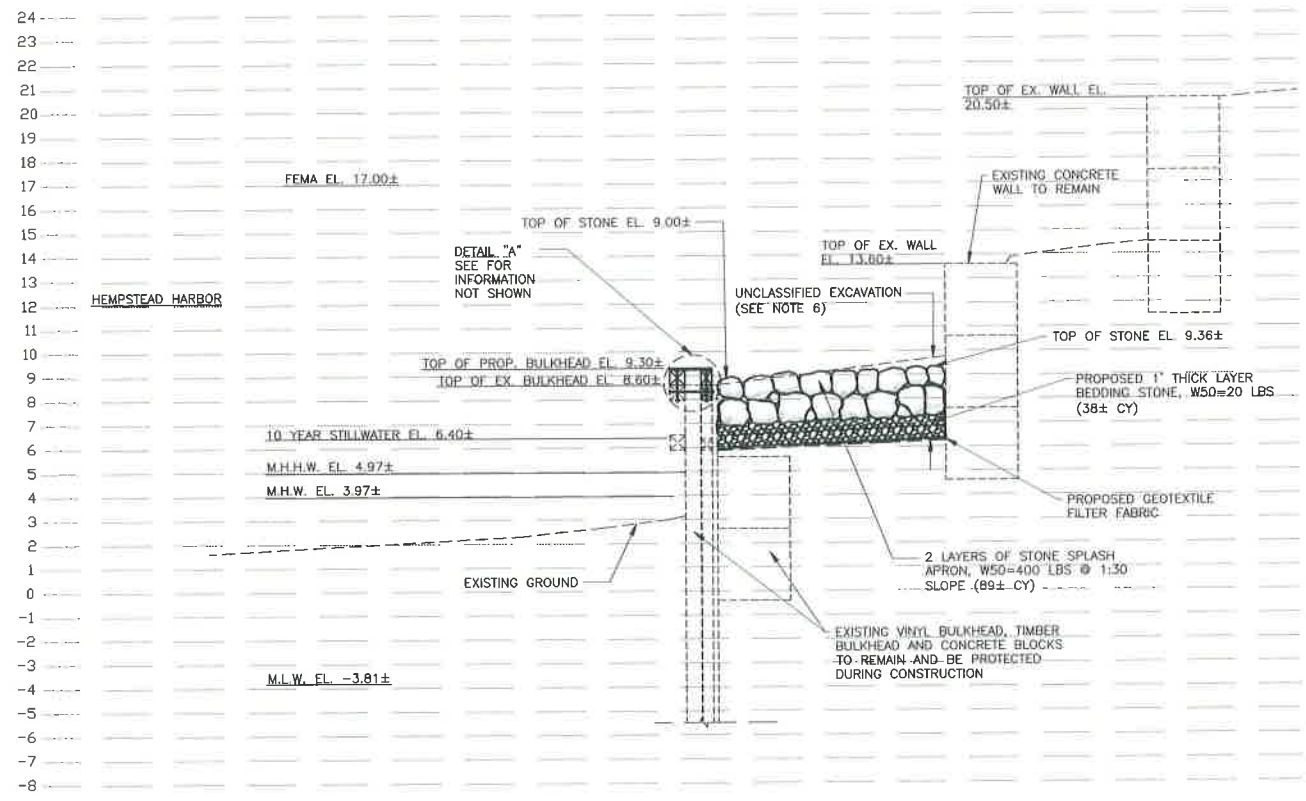
DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 38 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
GENERAL PLAN			
L. K. McLEAN ASSOCIATES, P.C.			
<small>CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719</small>			
Designed By:	KJM	Scale: AS SHOWN	Sheet No.
Drawn By:	DCR	Date: NOVEMBER 2020	3 OF 4
Approved By:	RAS	File No. 20078.000	

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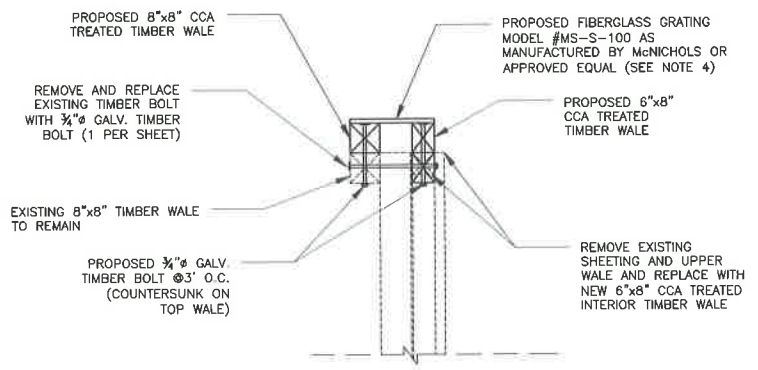




**SECTION A-A**  
**STONE SPLASH APRON AT**  
**EXISTING BULKHEAD TIE ROD**  
 SCALE 1"=4'

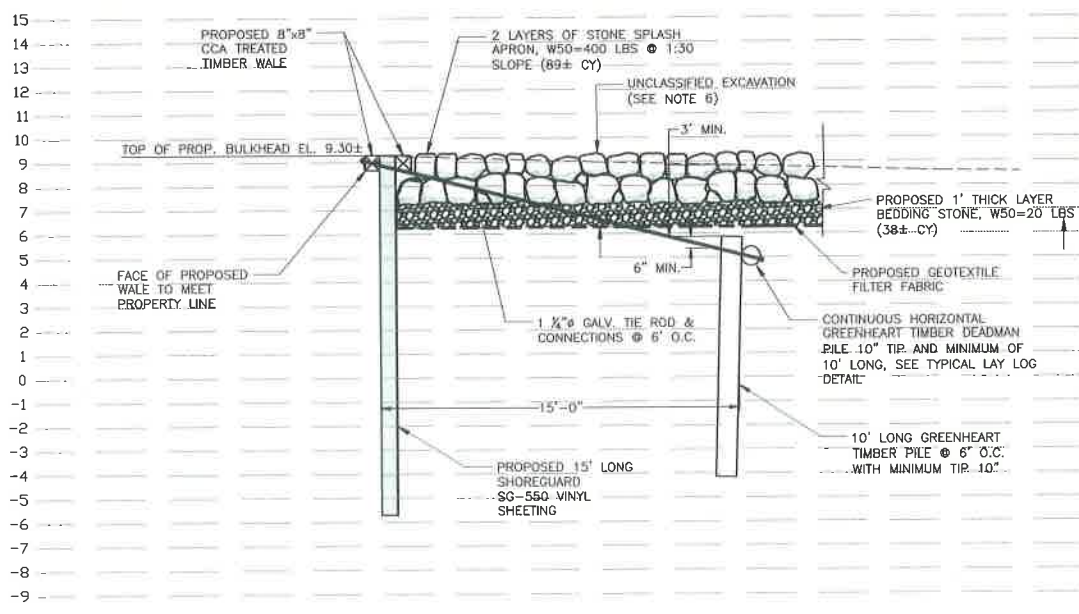


**SECTION B-B**  
**STONE SPLASH APRON**  
 SCALE 1"=4'



**DETAIL "A"**  
 N.T.S.

- NOTES:
- HORIZONTAL DATUM IS IN THE NEW YORK STATE PLANE COORDINATE SYSTEM NAD83, LONG ISLAND ZONE.
  - THE VERTICAL DATUM IS REFERENCED TO NAVD88.
  - CONTRACTOR SHALL EXPOSE EXISTING TIE RODS SO THAT E.I.C. CAN ASSESS THEIR CONDITION. IF TIE RODS ARE FOUND TO BE IN POOR CONDITION, CONTRACTOR SHALL INSTALL HELICAL PILES A.O.B.E.
  - FIBERGLASS GRATING SHALL BE FASTENED TO PROPOSED TIMBER WALES WITH S.S. HARDWARE AS RECOMMENDED BY MANUFACTURER.
  - ALL THE STONE IS TO BE PLACED LANDWARD OF THE EXISTING BULKHEAD AND ABOVE M.H.W.
  - EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF AT AN NYSDEC APPROVED UPLAND FACILITY (APPX 130± CY).



**SECTION C-C**  
**STONE SPLASH APRON**  
 SCALE 1"=4'

TABLE OF STONE	
ARMOR STONE	89± CY
BEDDING STONE	38± CY

NYSDEC 3 of 3  
 APPROVED AS PER TERMS  
 AND CONDITIONS OF  
 PERMIT NO L-2824-02758/00004  
 DATE 1/27/2021 MRS

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
SHORELINE STABILIZATION AT 38 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF, NEW YORK			
MISCELLANEOUS DETAILS			
L. K. McLEAN ASSOCIATES, P.C.			
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11719			
Designed By:	KJM	Scale:	AS SHOWN
Drawn By:	DCR	Date:	NOVEMBER 2020
Approved By:	RAS	File No:	20078.000
			4 OF 4

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STATE OF NEW YORK  
**DEPARTMENT OF STATE**

ONE COMMERCE PLAZA  
99 WASHINGTON AVENUE  
ALBANY, NY 12231-0001  
WWW.DOS.NY.GOV

ANDREW M. CUOMO  
GOVERNOR

ROSSANA ROSADO  
SECRETARY OF STATE

February 17, 2021

Keith Masseria  
L.K. McLean Associates, P.C.  
437 South Country Road  
Brookhaven, NY 11719

Re: F-2020-1001  
U.S. Army Corps of Engineers/ New York District  
Permit Application – NAN-2020-01157-EMC  
NYS DEC Region 1 Application #1-2824-02758  
Raise the height of the existing bulkhead from  
elevation 8.60± to elevation 9.30± (NAVD88) and  
construct a 121' long x 9.8' wide stone splash apron  
directly behind the existing bulkhead, consisting of  
geotextile filter fabric, bedding stone, and 2 layers  
heavy armor stone. No structure or fill is proposed  
below mean high water.  
38 Bay Avenue, Village of Sea Cliff, Nassau County,  
Hempstead Harbor  
**No Review Necessary**

Dear Mr. Masseria:

The Department of State received your Federal Consistency Assessment Form and supporting information on November 4, 2020.

On February 17, 2021, the US Army Corps of Engineers informed us that the proposed activity does not require a federal permit, license, or other authorization. Therefore, further review of this project by the Department of State, and concurrence with your consistency certification, are not necessary.

Should the Army Corps or other federal agency determine that the proposed project requires a federal permit, license, or other form of federal authorization or if the project is modified, please contact the Department of State to determine if further review is required.

This is without prejudice to and does not obviate the need to obtain all other applicable license, permits, other forms of authorizations or approvals that may be required pursuant to existing New York State statutes.

Please call me at (518) 474-2813 if you have any questions regarding this matter and refer to our file #F-2020-1001.

Sincerely,



Hannah Willey  
Coastal Processes Engineer  
Office of Planning, Development and  
Community Infrastructure



**Department  
of State**

cc: COE/ New York District – Reegan McCaulley (NAN-2020-01157-EMC)  
NYS DEC Region 1- Matthew Pensi (1-2824-02758/00004,5,6)  
Applicant – William Becker



**DEPARTMENT OF THE ARMY**  
**U.S. ARMY CORPS OF ENGINEERS, NEW YORK DISTRICT**  
**JACOB K. JAVITS FEDERAL BUILDING**  
**26 FEDERAL PLAZA**  
**NEW YORK NEW YORK 10278-0090**

Regulatory Branch

**SUBJECT:** Permit Application Number NAN-2020-01157-EMC  
by William Becker

William Becker  
38 Bay Avenue  
Sea Cliff, New York 11579

Dear Mr. Becker:

On November 12, 2020, the New York District, U.S. Army Corps of Engineers (Corps), received a request for Department of the Army authorization for upland shoreline erosion protection activities at 38 Bay Avenue, Village of Sea Cliff, Town of Oyster Bay, Nassau County, New York.

Our review indicates that since the proposed installation of a stone revetment behind the existing bulkhead detailed in "Preliminary Plans for Shoreline Stabilization at 38 Bay Avenue on Hempstead Harbor, Sea Cliff, New York" prepared by L.K. McLean Associates, P.C., dated December, 2020, does not appear to include dredging or construction activities in or over any navigable waters of the United States, the placement of any dredged or fill material in any waters of the United States (including coastal or inland wetlands) or the accomplishment of any work affecting the course, location, condition or capacity of such areas, a Department of the Army permit, in accordance with 33 CFR 320-330, will not be required provided the proposed work is executed in accordance with the referenced material.

Care should be taken so that any fill or construction materials, including debris, do not enter the waterway to become a drift or pollution hazard. A No Permit Required (NPR) determination by the Corps:

- Does not obviate the requirement to obtain any other Federal, State, or local permits which may be necessary for your project;
- Does not constitute a federal evaluation of possible impacts to species protected under the Endangered Species Act. Projects that have the potential to impact federally listed species should contact the U.S. Fish and Wildlife Service/NOAA Fisheries Service; and,
- Does not constitute a federal evaluation of possible impacts to historic resources protected under Section 106 of the Natural Historic Preservation Act. Projects that have the potential to impact historic sites should contact the State Historic Preservation Officer in New York.

Regulatory Branch

SUBJECT: Permit Application Number NAN-2020-01157-EMC  
by William Becker

- 2 -

**This NPR determination neither addresses nor includes any consideration for geographic jurisdiction on aquatic resources and shall not be interpreted as such.**

In order for us to better serve you, please complete our Customer Service Survey located at <http://www.nan.usace.army.mil/Missions/Regulatory/CustomerSurvey.aspx>. If any questions should arise concerning this matter, please contact Reegan.A.McCaulley@usace.army.mil.

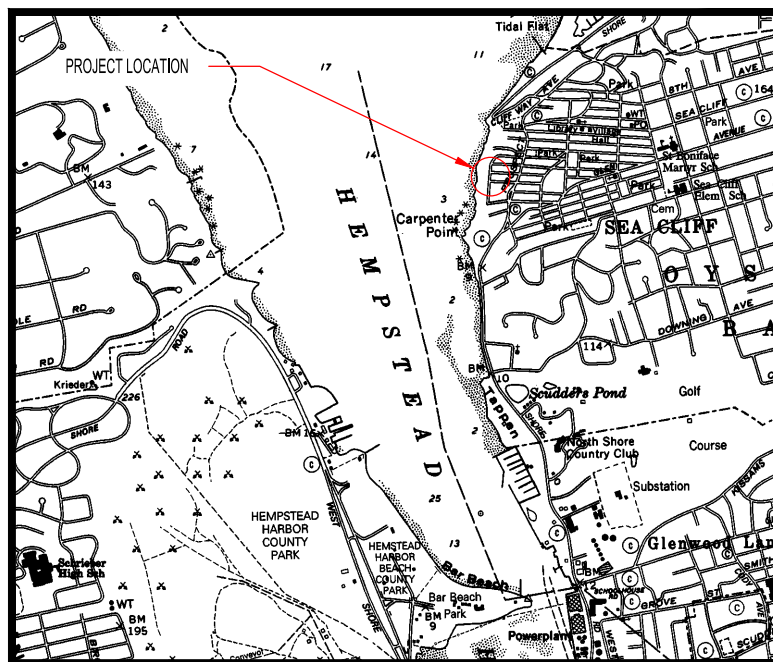
Sincerely,

Ronald. R. Pinzon  
Chief, Eastern Section

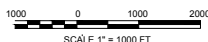
Encls



# THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NY



LOCATION MAP



INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	GENERAL PLAN
4	MISCELLANEOUS DETAILS

PREPARED AND  
RECOMMENDED BY:

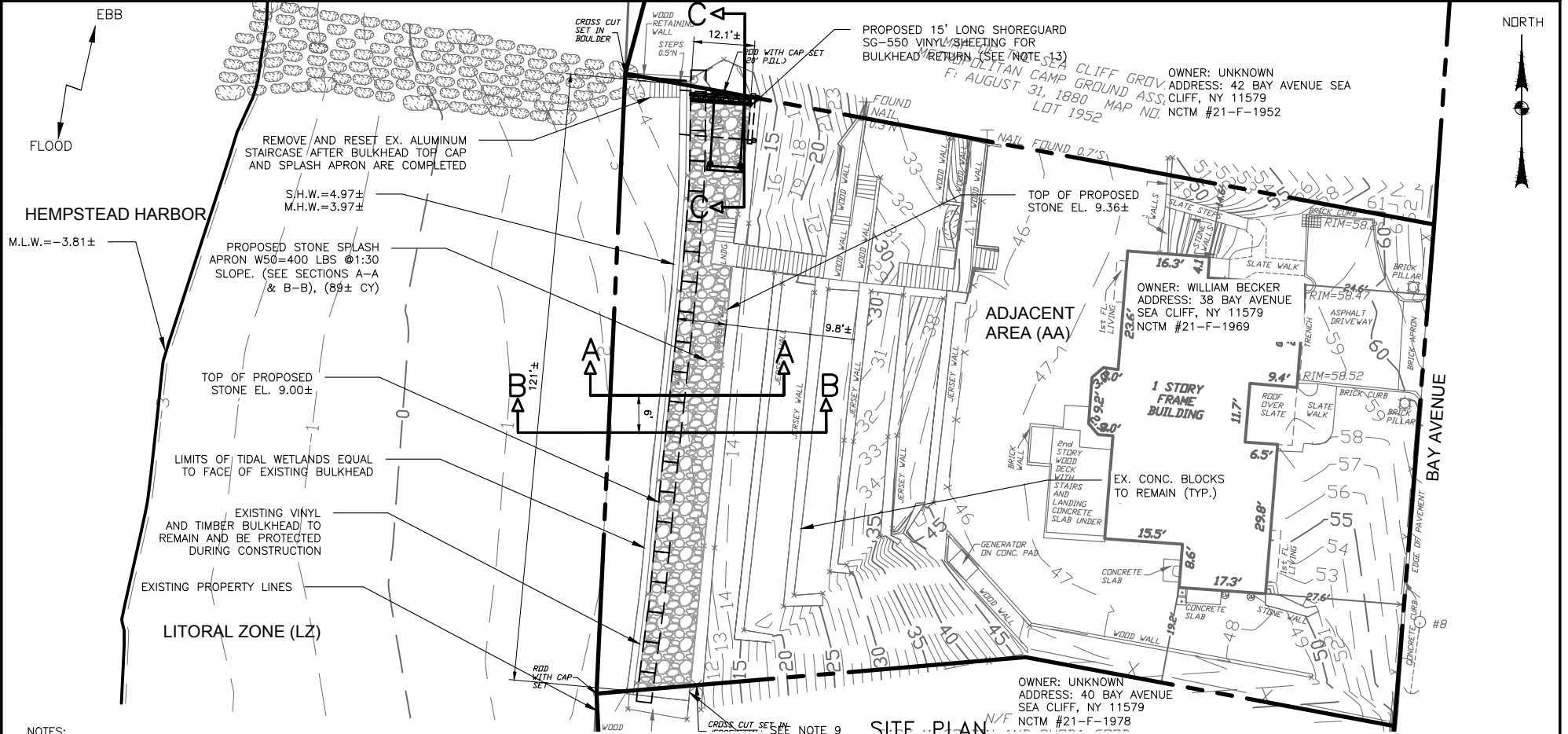
DATE:

RAYMOND DIBIASE, P.E., - NYSPE Lic. No. 56985

**LKMA** L. K. McLEAN ASSOCIATES, P.C.  
CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NY 11719

## PRELIMINARY PLANS FOR SHORELINE STABILIZATION AT #38 BAY AVENUE ON HEMPSTEAD HARBOR SEA CLIFF, NY DECEMBER 2020

ALL WORK CONTEMPLATED UNDER THIS CONTRACT IS TO BE COVERED BY AND IN CONFORMITY WITH THE 2008 NYSDOT STANDARD SPECIFICATIONS (U.S. CUSTOMARY UNITS), EXCEPT AS MODIFIED ON THESE PLANS AND IN THE ITEMIZED PROPOSAL.



**NOTES:**

1. CONTRACTOR SHALL READ AND FOLLOW ALL PERMIT CONDITIONS AND SPECIAL CONDITIONS CONTAINED IN THE NYSDEC PERMIT TO ENSURE COMPLIANCE DURING THE TERM OF THE PERMIT.
2. CONTRACTOR SHALL RESTORE ANY DISTURBED AREA IN KIND.
3. CONTRACTOR SHALL NOTIFY NEIGHBORS TO THE NORTH AND SOUTH SIDE OF RIGHT OF WAY OF THE PROPOSED CONSTRUCTION START TIME.
4. CONTRACTORS SHALL REMOVE ALL DEBRIS, UNSUITABLE FILL MATERIALS, DEBRIS IN WATER AND DISPOSE OFF SITE. CLEAR AND GRUB EXISTING VEGETATION.
5. FILL SHALL BE FROM ON-SITE OR LOCAL SOURCES.
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9. CONTRACTOR SHALL EXCAVATE AT FOOTING OF MODULAR CONCRETE WALL ON SOUTH SIDE OF PROPERTY SO THAT THE ENGINEER CAN INSPECT THE FOUNDATION. IF IT IS OBSERVED THAT THE CONCRETE WALL IS SETTLING, THE CONTRACTOR SHALL REMOVE AND RESET THE EXISTING BLOCKS AS NECESSARY.
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


**SITE PLAN**

SCALE 1"=30'




SCALE IN FEET

**LEGEND**

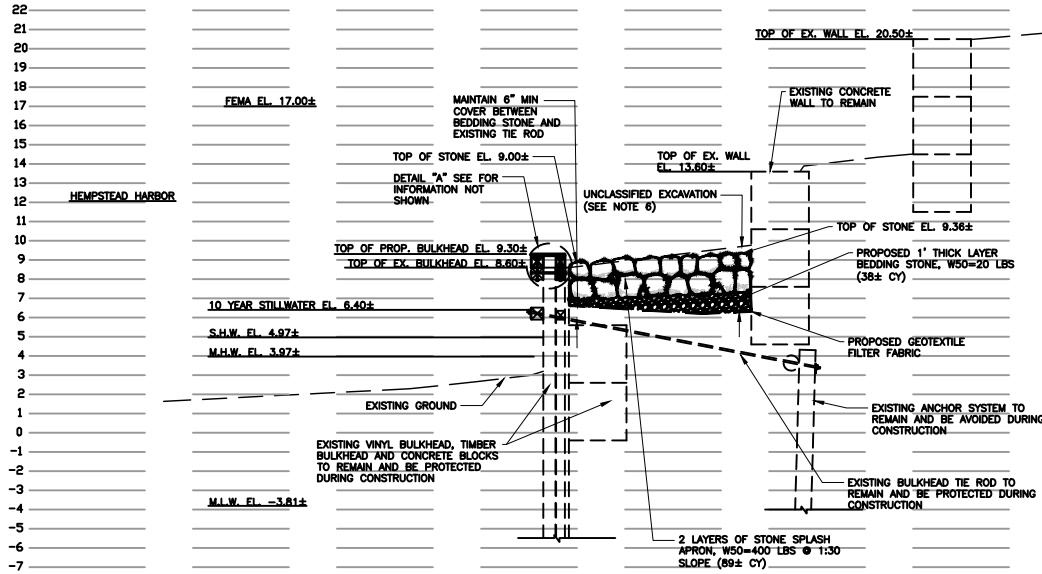
-  PROPOSED STONE SPLASH APRON W50=400LBS (SEE SECTIONS A-A & B-B)
-  PROPOSED SHOREGUARD SG-550 VINYL SHEETING FOR BULKHEAD RETURN
-  EXISTING PROPERTY LINES
-  EXISTING CONCRETE WALL BEHIND EXISTING BULKHEAD

NCTM# 21-F-1969  
SECTION-BLOCK-LOT

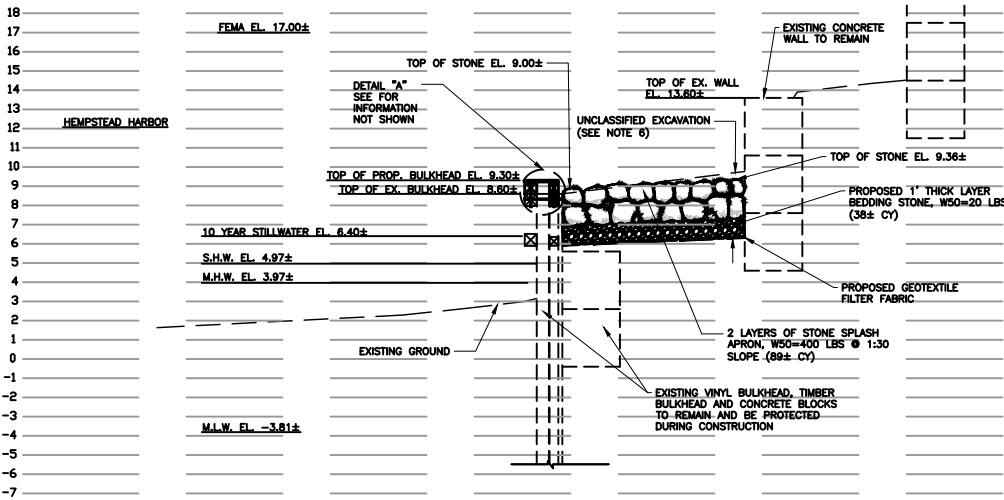
<p><b>THE HORIZONTAL DATUM IS NEW YORK STATE PLANE COORDINATE SYSTEM, NAD83, LONG ISLAND ZONE AND THE VERTICAL DATUM IS REFERENCED TO NAVD88</b></p>	<p><b>DATUM: SHW=4.97± MHW=3.97± MLW=-3.81±</b></p>	<p><b>ADJACENT WATER BODY: HEMPSTEAD HARBOR</b></p>
--	---	---

DATE	BY	DESCRIPTION	APPROV. BY
<b>REVISIONS</b>			
 THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK SHORELINE STABILIZATION AT 38 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF NEW YORK			
<b>GENERAL PLAN</b>			
<b>L. K. McLEAN ASSOCIATES, P.C.</b> CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11786			
Designed By: KJM	Scale: AS NOTED	Sheet No.	
Drawn By: DCR	Date: DECEMBER 2020	3 OF 4	
Approved By: RAS	File No. 20078.000		

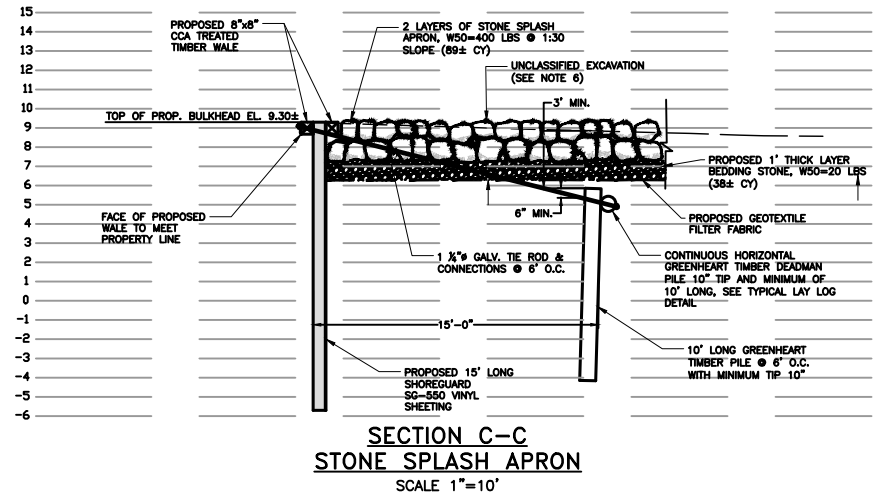
Dec 09, 2020 - 01:23pm P:\20078.000 #38 Bay Avenue Sea Cliff\Civil DWG\Contract Drawings\General Plan #38.dwg



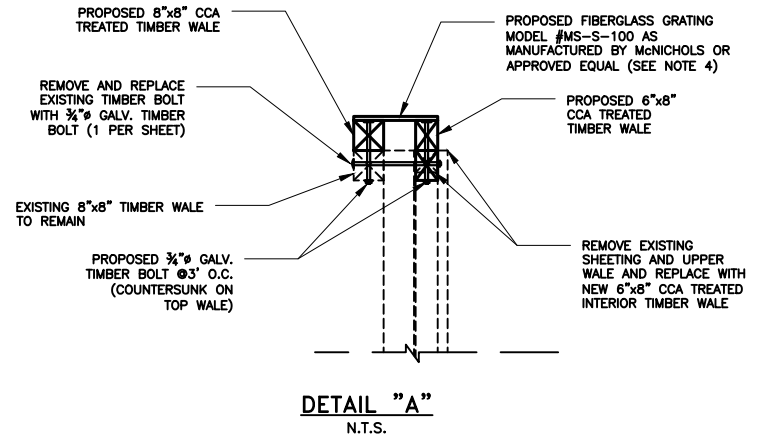
**SECTION A-A**  
**STONE SPLASH APRON AT**  
**EXISTING BULKHEAD TIE ROD**  
SCALE 1"=10'



**SECTION B-B**  
**STONE SPLASH APRON**  
SCALE 1"=10'



**SECTION C-C**  
**STONE SPLASH APRON**  
SCALE 1"=10'



**NOTES:**


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- EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OF AT AN NYSDEC APPROVED UPLAND FACILITY (APPX 130± CY).

TABLE OF STONE	
ARMOR STONE	89± CY
BEDDING STONE	38± CY

THE HORIZONTAL DATUM IS NEW YORK STATE PLANE COORDINATE SYSTEM, NAD83, LONG ISLAND ZONE AND THE VERTICAL DATUM IS REFERENCED TO NAVD88

DATUM: SHW=4.97±  
MHW=3.97±  
MLW=-3.81±

ADJACENT WATER BODY:  
HEMPSTEAD HARBOR

DATE	BY	DESCRIPTION	APPROV. BY
REVISIONS			
 THE INCORPORATED VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK SHORELINE STABILIZATION AT 38 BAY AVENUE ON HEMPSTEAD HARBOR, SEA CLIFF NEW YORK			
MISCELLANEOUS DETAILS			
L. K. McLEAN ASSOCIATES, P.C. CONSULTING ENGINEERS 437 SOUTH COUNTRY RD., BROOKHAVEN, NEW YORK 11789			
Designed By:	KJM	Scale: AS NOTED	Sheet No.
Drawn By:	DCR	Date: DECEMBER 2020	4 OF 4
Approved By:	RAS	File No. 20078.000	

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

*i.* Total number of structures \_\_\_\_\_

*ii.* Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

*iii.* Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

*i.* Purpose of the impoundment: \_\_\_\_\_

*ii.* If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

*iii.* If other than water, identify the type of impounded/contained liquids and their source.  
 \_\_\_\_\_

*iv.* Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

*v.* Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

*vi.* Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
 \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

*i.* What is the purpose of the excavation or dredging? \_\_\_\_\_

*ii.* How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

*iii.* Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

*iv.* Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

*v.* What is the total area to be dredged or excavated? \_\_\_\_\_ acres

*vi.* What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

*vii.* What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

*viii.* Will the excavation require blasting?  Yes  No

*ix.* Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

*i.* Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No



• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

*i.* Estimate methane generation in tons/year (metric): \_\_\_\_\_

*ii.* Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

*i.* When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

*ii.* For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

*iii.* Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

*iv.* Does the proposed action include any shared use parking? Yes No

*v.* If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

*vi.* Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

*vii.* Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

*viii.* Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

*i.* Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

*ii.* Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

*iii.* Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
---	--

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

---

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

---

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_



m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: House at 65 Twentieth Avenue, House at 173 Sixteenth Avenue, Sixteenth Avenue, House at 162

iii. Brief description of attributes on which listing is based:  
Entertainment/creation; Architecture

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f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

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g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

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h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

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i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

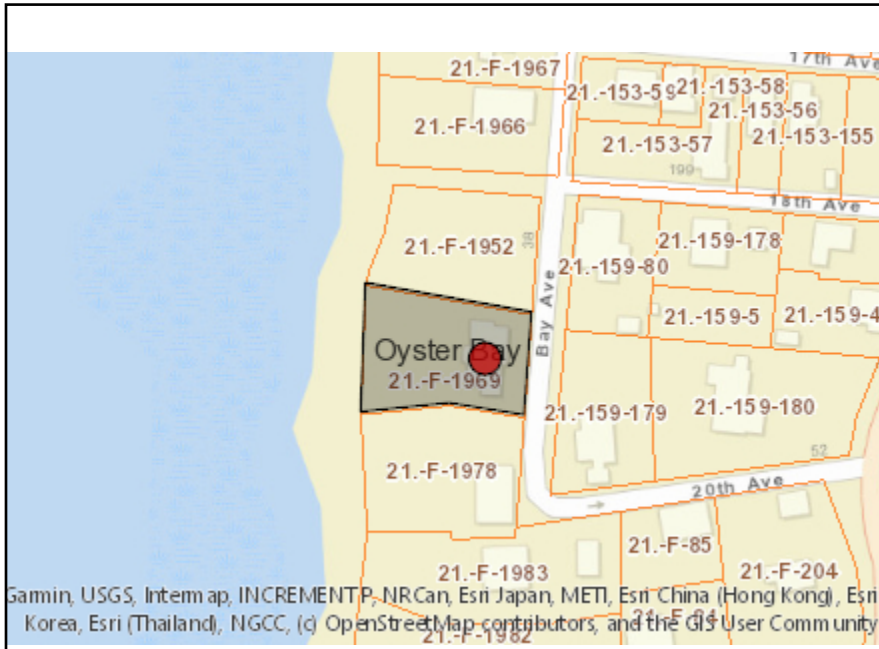
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name William Becker Date 3/12/21

Signature William Becker Title 3/12/21



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:LI North Shore Heritage Area
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	C130203
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No

E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Nassau-Suffolk SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	House at 65 Twentieth Avenue, House at 173 Sixteenth Avenue, Sixteenth Avenue, House at 162
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

## **Project Description**

The purpose of the project is to raise the top of the existing bulkhead and the construction of a stone splash apron behind the existing bulkhead at 38 Bay Avenue along Hempstead Harbor in Sea Cliff to protect the property from future storm damage as a result of wind driven waves. All work for this project will be performed landward of the existing bulkhead which has been in existence prior to 1977. We are requesting a letter of non-jurisdiction for the following improvements to protect the existing shoreline and property of 38 Bay Avenue:

The existing bulkhead, currently at elevation 8.60± (NAVD88), will be raised to elevation 9.30± (NAVD88) with an 8"x8" CCA treaded exterior timber wale, a 6"x8" CCA treated rear wale and fiberglass grating. It is proposed to install a 121 feet long and 9.8 feet wide stone splash apron directly behind the existing bulkhead. The splash apron will consist of two layers of stone with W50= 400 Lbs. (approximately 89 CY) over a 1 foot layer of stone bedding with W50= 20 Lbs. (approximately 38 CY). The existing bedding stone will be underlain with geotextile filter fabric.

The existing soil (approximate 130± CY), which must be excavated in order to install the stone, will be removed and legally disposed of off-site at a NYSDEC approved upland disposal area. The bottom of the splash apron is proposed to be installed a minimum of 6" above the existing tie rod, up to elevation 9.00± (NAVD88) and extend up at a 1:30 slope until elevation 9.36± (NAVD88) is reached (see General Plan for limits). The northern property line will be stabilized with a proposed 15' long Shoreguard SG-550 vinyl sheeting bulkhead return with an anchorage system consisting of galvanized tie rod at 6' on center, CCA Pin Piles and a horizontal CCA lay log.