



# INCORPORATED VILLAGE OF SEA CLIFF

OFFICE OF THE VILLAGE OF SEA CLIFF BUILDING DEPARTMENT  
300 SEA CLIFF AVE SEA CLIFF N.Y. 11579 PHONE (516) 671-0080

## Notice of Review

9/10/20

TO:

PROPERTY OWNER: 14 Bay Ave, LLC

PROPERTY ADDRESS: 14 Bay Ave

SECTION/ BLOCK/ LOT: 21/F/89

APPLICATION NO: 12001

APPLICATION REC'D: 6/30/2020

ZONE: Residence A

**DESCRIPTION:** The applicant is proposing to construct a new home, pool and curb cut.

**The Proposed Construction does not comply with the following Village of Sea Cliff Code Section(s):**

### § 107-4 Review required.

*[Amended 10-7-1996 by L.L. No. 1-1996; 12-10-2018 by L.L. No. 7-2018; 5-11-2020 by L.L. No. 3-2020]*

*Site plan review, as provided herein, shall be required for the following, and the Planning Board shall approve, approve with modifications or disapprove applications, as follows:*

- A. Applications for building permits. All building permit applications involving the proposed erection of any structure, other than accessory structures on previously improved property or additions to one-family dwellings where the gross floor area of the addition does not exceed 50% of the gross floor area of the existing dwelling.*
- C. Applications for development of land.*
- D. A change in access to a site or a change in circulation within a site that affects at least 20% of the paved and/or gravel area, increases the paved and/or gravel area by 10% or more, or relocates or increase the total linear width of any curb cut or cuts.*
- E. Any substantial change in topography. For purposes of this section, any change in topography in excess of one foot in height or elevation, at any point or over any ten-foot linear area, in any direction, shall be considered a substantial change.*
- F. Any construction involving an enlargement or modification to roof area or building footprint, or an addition or modification to an accessory structure, regardless of whether such structure qualifies for a building permit exemption under § 138-1205, for property abutting Hempstead Harbor.*

The applicant is proposing to construct a new home, pool and relocated curb cut.

### § 60-10 Type I actions.

*For purposes of this chapter, Type I actions are those listed in Part 617. In addition to the list of actions in Part 617, the following actions are deemed by the Village to be Type I actions (where the following list conflicts directly with Part 617 listed actions (as determined by the Agency), the following list supersedes those provisions contained in Part 617):*

- A. Any construction on slopes of 15% or greater (a fifteen-foot rise per 100 feet of length) or where the general slopes in the project area exceed 10%.*
- D. Construction that will continue for more than one year or involve more than one phase or stage.*
- F. Construction, addition, replacement or significant repair of a bulkhead.*
- G. Construction on or the development or use of a site which may affect a unique or unusual land form found on the site, including, but not limited to, cliffs, dunes, or geological formations.*
- H. Construction in a designated freshwater or tidal wetland.*
- J. Proposed action which will likely cause siltation or other discharge into an existing body of water to the extent that there will be obvious visual contrast to natural conditions.*
- M. Construction on or the development of use of a site which may alter the drainage flow or patterns of surface water runoff.*
- O. Proposed action which may cause substantial erosion.*

*Q. Construction on or the development or use of a site which will be visible to users of an aesthetic resource and which will eliminate or significantly reduce the enjoyment of the aesthetic qualities of that resource.*

*R. Construction on or the development or use of a site which will result in the elimination or significant screening of scenic views known to be important to the area.*

*T. Construction on or the development or use of a site which may result in objectionable odors, noise or vibration such that odors will occur routinely (more than one hour per day), noise will be produced which exceeds the ambient noise levels permitted for noise outside of structures or natural barriers that would act as a noise screen will be removed.*

The applicant is proposing to construct a new home, pool and relocated curb cut.



**Shane Dommin**

**Village of Sea Cliff Building Department**

Note; If the proposed construction does not comply with the Village Code, applicant may apply to the Zoning Board of Appeals for relief, within 60 days hereof. If the proposed construction requires Planning Board approval, an application to the Planning Board may be made. All plans are subject to the Building Codes of New York State.



# INCORPORATED VILLAGE OF SEA CLIFF

Post Office Box 340 • 300 Sea Cliff Avenue • Sea Cliff, NY 11579  
(516) 671-0080 phone • (516) 671-6508 fax • [www.seacliff-ny.gov](http://www.seacliff-ny.gov)

## BUILDING PERMIT

APPLICATION ID # 12001 APPLICATION DATE 7/1/2020 PERMIT # \_\_\_\_\_

PROPERTY ADDRESS: 14 BAY AVE. SECT 21 BLOCK F LOT 89

Owner: 14 BAY AVE, LLC.  
Address: 200 SEA LANE City: FARMINGDALE State: NY Zip: 11735  
Phone: 516 426-9654 Cell: \_\_\_\_\_ Email: EALETTO@Bedgear.com

Applicant: (if applicant is different from owner state relationship to owner)  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Email: \_\_\_\_\_

Architect: JAMES CARBALLAL  
Address: 80 LA-FAYETTE AVE. City: SEA CLIFF State: NY Zip: 11579  
Phone: 516 375-1728 Cell: \_\_\_\_\_ Email: \_\_\_\_\_

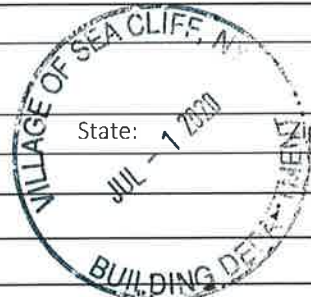
Contractor: TBD  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Email: \_\_\_\_\_

Plumber: TBD  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Email: \_\_\_\_\_

Electrician: TBD  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Email: \_\_\_\_\_

Other/Mechanical: TBD.  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Email: \_\_\_\_\_

A/C, Boiler, etc Model# \_\_\_\_\_  
A/C, Boiler, etc Model# \_\_\_\_\_



**PROPOSED WORK:** Be as detailed as possible describing anything that is not going to be specifically provided for in plans or other supporting documents such as number of plumbing fixtures, new services, i.e. gas, water, electric, number of new branch circuits or anything else billable by permit. Billable permit items are listed in Village Code Chapter 142-A as a pdf. Link. The building dept. is responsible for assessing permit fees.

Re Build a Home SIMILAR TO EXISTING WITH  
REDUCTION IN USE & DIMENSIONAL VARIANCES



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## BUILDING PERMIT

Cost of Improvement: \$ 1,000,000 <sup>00</sup> ~~XX~~

**Owner:** Deposits and says that they are the owner(s) in fee of the Premises, that the work proposed to be done upon the said Premises shall be completed in accordance with the approved application and accompanying plans, and that all the statements herein are true to the deponents own knowledge.

Owner Signature: *Eugene Altobelli* MEMBER

Owner Signature: \_\_\_\_\_

SANDRA J LORENZ  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01L08285763  
Qualified in Suffolk County  
My Commission Expires 11-07-2020

Date: \_\_\_\_\_ Notary: *Sandra J Lorenz* 02/25/20

Contractors must submit proof of current insurance (C-105.2 or U-26.3 for compensation and DB-120.1 for disability or DB-155 for disability) as required by NY State. Form CE-200 may be submitted if exempted. Nassau County requires licensing and liability insurance for residential work. Proof of these are also required of contractors prior to the issuance of the permit

### OFFICIAL USE

**FEES** \$150 pd 7/1/2020  
**Application Fee** \$ 75 pd 7/1/2020  
**Permit Fees**  
Building \_\_\_\_\_  
Plumbing \_\_\_\_\_  
Electrical \_\_\_\_\_  
Mechanical \_\_\_\_\_  
Certificate \_\_\_\_\_  
Other \_\_\_\_\_  
Total Permit Fees \$ \_\_\_\_\_

### REQUIRED CERTIFICATES

- Cert of Occupancy
- Cert of Approval
- Cert of Completion
- Cert of Compliance
- Cert of Tenancy
- Letter in Lieu

Approved by \_\_\_\_\_

Examined for approval on \_\_\_\_\_

**New State Law Requires:** Site visits by the **Building Department** prior to the issuance of any permit. Changes in project elements or design shall not be made until such changes are approved and documented with the **Building Department**.

**Village Code Requires:** Zoning variances become invalid if authorized work has not begun within six (6) months of Building Department Approval. Extensions may be applied for to the Zoning Board. (138-1304). Building Permits expire twelve (12) months after the approval. Two (2) subsequent six (6) month extensions may be applied with approval of the Building Department and payment of fees. Additional approvals require application (48-15)



ZONING BOARD OF APPEALS \_\_\_\_\_  
PLANNING BOARD  (check one)

-----X  
IN THE MATTER OF THE APPLICATION OF  
EUGENE ALLETTO MEMBER  
14 BAY AVE LLC

APPLICATION

Village of Sea Cliff.  
-----X

NEW SINGLE FAMILY DWELLING WITH ATTACHED GARAGE

1. Name of applicant: EUGENE ALLETTO (MEMBER)

2. Applicant's address: 2001 SEA LAKE  
FARMINGDALE N.Y. 11735

3. If the applicant is not an owner of the property which is the subject of this application, state the relationship of the applicant to the owner(s):

MEMBER

4. The property which is the subject of this application is located at: 14 BAY AVE N. Y., SEA CLIFF, Village of Sea Cliff, N. Y. and is also known as Section 21, Block 7, Lot(s) 89 on the Nassau County Land and Tax Map.

5. The full name and residence address of all owners of the property (if applicant is not the sole owner) is:

\_\_\_\_\_  
\_\_\_\_\_

6. The property is located in the RES-A zoning district of the Village of Sea Cliff.

7. The subject property is located on the WEST side of BAY AVENUE (street).

8. The date on which the owner(s) acquired the property was 12/14/88.

9. The approximate dimensions of the property are 100 feet by 200 feet, and the total acreage of property is 1/2 acres.

10. The property is presently used for VACANT - WAS A  
A FAMILY RESIDENCE.

11. Are there existing buildings on the property? YES of \_\_\_\_\_

12. Are there any outstanding village taxes on the property?  
NO If so, for what years? —

13. The applicant or owner(s) wish to make use of the property for the purpose of: SINGLE FAMILY RESIDENCE

14. The Building Department of the Village of Sea Cliff denied an application for a building permit on 6/30/2020

15. The proposed construction use of the property does not comply with the following sections of the Village Code: 107-4,  
60-10

16. This is an application for:

\_\_\_\_\_ an appeal

\_\_\_\_\_ a variance

\_\_\_\_\_ a special permit

other (describe): SITE PLAN REVIEW

17. Description of the problem, or reasons for this application, that support the request for relief:

(Note to Applicant - this information is particularly important, and must constitute a complete statement of the grounds for the relief which you are seeking. You may use additional sheets of paper if necessary to provide a complete response)

SITE PLAN REVIEW -  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

18. Has any previous application been made to the Zoning Board of Appeals or Planning Board for the relief sought in this application, or relief similar to that sought in this application? No If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination by the Zoning Board of Appeals or Planning Board.

19. Has any previous application been made to the Zoning Board of Appeals or Planning Board for any other relief with respect to the property which is the subject of this application? YES  
If so, attach a description of each such prior application, including the date the application was made, the date of the determination by the Zoning Board of Appeals or Planning Board, and a summary of the determination of the Zoning Board of Appeals or Planning Board.
20. Are there any outstanding violation notices affecting the subject premises? No
21. Are there any pending court proceedings involving the subject premises? No
22. The undersigned applicant states under penalty of perjury that the foregoing statements and information, and all statements and information contained in papers submitted herewith, are true, correct and complete, to best of the signer's knowledge.

198AY  
Name of applicant: EUGENE DUETTO MEMBER  
Signature of applicant: Eugene Duetto  
Title of signatory: OWNER  
Date: OCTOBER 24, 2020

AFFIDAVIT OF APPLICANT

STATE OF NEW YORK) SS:

COUNTY OF NASSAU )

The undersigned, being duly sworn, deposes and says that deponent has read the foregoing application subscribed by applicant, and knows the contents thereof, and that the contents of the application are true of the deponent's personal knowledge, except as to the matters stated to be upon information and belief, as to which matters deponent believes the contents to be true.

If the applicant is a corporation, the deponent is an officer thereof, to wit the \_\_\_\_\_, and is authorized by the Board of Directors of the corporation to execute this application on behalf of the corporation.

If the applicant is a partnership, the deponent is a general partner thereof, and has authority to execute this application in the name of the partnership.

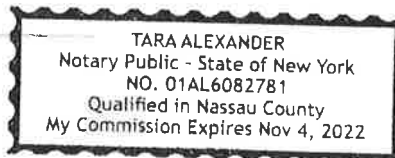
If the applicant is a limited liability company, the deponent is member thereof, and has authority to execute this application in the name of the company.

EUOEUPE ALLETTA (MEMBER)  
Print Name

*Euope Alletto*  
Signature

Sworn to before me this 24  
day of OCTOBER 2020.

*Tara Alexander*



AFFIDAVIT OF OWNER(S)

(To be completed only if the applicant is not the sole owner)  
(All owners must sign either as owner or applicant)

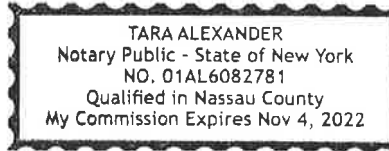
STATE OF NEW YORK) SS:

COUNTY OF NASSAU )

EUGENE ALLETTO <sup>(MEMBER)</sup> being duly sworn, deposes and says that (s)he is the owner of the property known as 14 BAY AVENUE in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



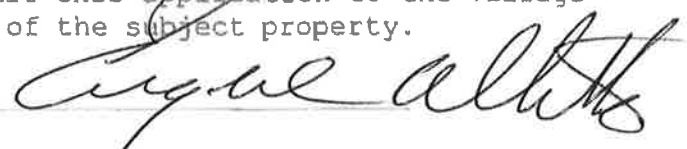
Sworn to before me on this 24  
day of OCTOBER 2020



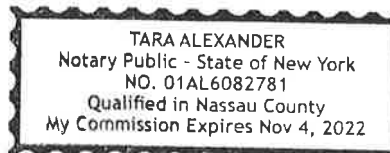
STATE OF NEW YORK) SS:

COUNTY OF NASSAU )

EUGENE ALLETTO <sup>(MEMBER)</sup> being duly sworn, deposes and says that (s)he is the owner of the property known as 14 BAY AVE. in the Village of Sea Cliff. No other person is an owner of the said property except as described in the attached application. The undersigned hereby acknowledges that the applicant herein is authorized to submit this application to the Village of Sea Cliff on behalf of the owner(s) of the subject property.



Sworn to before me on this 24  
day of OCTOBER 2020





ZONING BOARD OF APPEALS \_\_\_\_\_  
PLANNING BOARD X (check one)  
VILLAGE OF SEA CLIFF

-----X

In the Matter of the Application of

DISCLOSURE  
AFFIDAVIT  
General Municipal Law  
Section 809

EUGENE ALETTO-----X

STATE OF NEW YORK) COUNTY OF NASSAU )

ss: EUGENE ALETTO, being duly sworn, deposes and says:

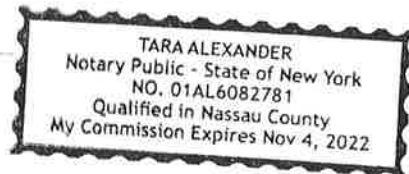
1. I am the (applicant with respect to) (owner of the premise which are the subject of) the attached application.
2. I make this affidavit for the purposes of complying with the requirements of General Municipal Law Section 809.
3. No officer of the State of New York, and no officer or employee of the County of Nassau, the Town of North Hempstead or the Village of Sea Cliff, and no party officer of any political party, has an interest in the attached application within the meaning of General Municipal Law Section 809, except as stated hereinafter (if none, state "NONE"):

<u>Name</u>	<u>Address</u>	<u>Position</u>	<u>Nature of Interest</u>
<u>NONE</u>			

Eugene Aletto  
Signature

Sworn to before me this 24  
day of OCTOBER 2020.

Tara Alexander





## Incorporated Village of Sea Cliff

Office of the Superintendent of Buildings

Sea Cliff Village Hall, 300 Sea Cliff Ave., Sea Cliff, New York 11579

### Inspection Authorization

I hereby authorize the members of the Zoning Board and/or Planning Board, the Superintendent of Buildings, and Legal Counsel to the Zoning Board and/or Planning Board to enter upon and inspect my property prior to the Zoning Board and/or Planning Board rendering a determination on this application.

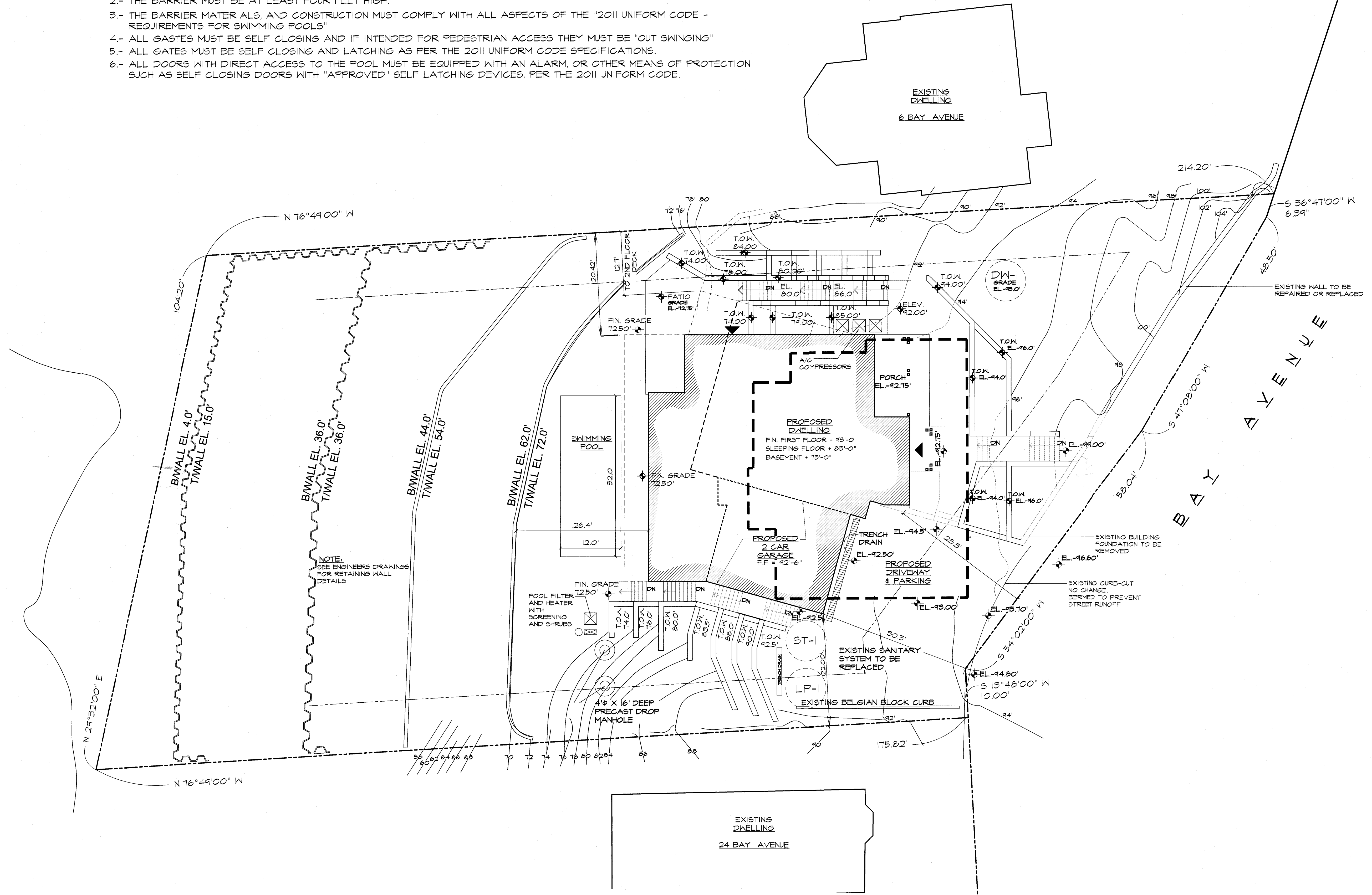
Homeowner: \_\_\_\_\_

Date: \_\_\_\_\_

*[Handwritten signature]*  
*10/24/20*

**SWIMMING POOL ENCLOSURE NOTES**

- 1.- POOL ENCLOSURE SHALL COMPLETELY SURROUND THE SWIMMING POOL AND OBSTRUCT ACCESS TO THE SWIMMING POOL..
- 2.- THE BARRIER MUST BE AT LEAST FOUR FEET HIGH.
- 3.- THE BARRIER MATERIALS, AND CONSTRUCTION MUST COMPLY WITH ALL ASPECTS OF THE "2011 UNIFORM CODE - REQUIREMENTS FOR SWIMMING POOLS"
- 4.- ALL GATES MUST BE SELF CLOSING AND IF INTENDED FOR PEDESTRIAN ACCESS THEY MUST BE "OUT SWINGING"
- 5.- ALL GATES MUST BE SELF CLOSING AND LATCHING AS PER THE 2011 UNIFORM CODE SPECIFICATIONS.
- 6.- ALL DOORS WITH DIRECT ACCESS TO THE POOL MUST BE EQUIPPED WITH AN ALARM, OR OTHER MEANS OF PROTECTION SUCH AS SELF CLOSING DOORS WITH "APPROVED" SELF LATCHING DEVICES, PER THE 2011 UNIFORM CODE.



NORTH  
SITE PLAN

SCALE: 1"=10'

JAMES T. CARBALLAL  
ARCHITECT

TELEPHONE: 516.674.3936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:  
6-23-20

DRAWN BY:  
JTC

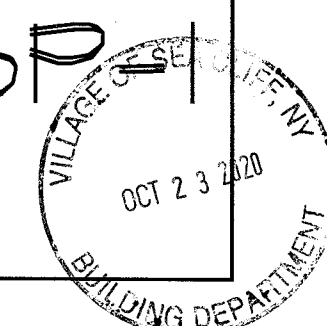
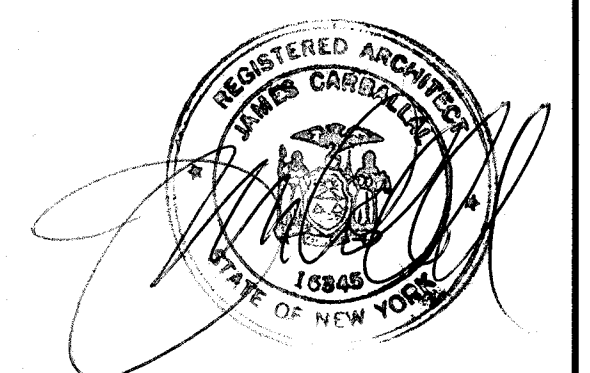
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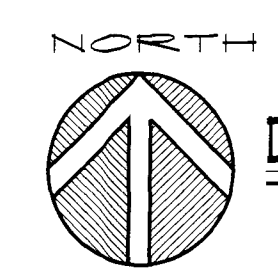
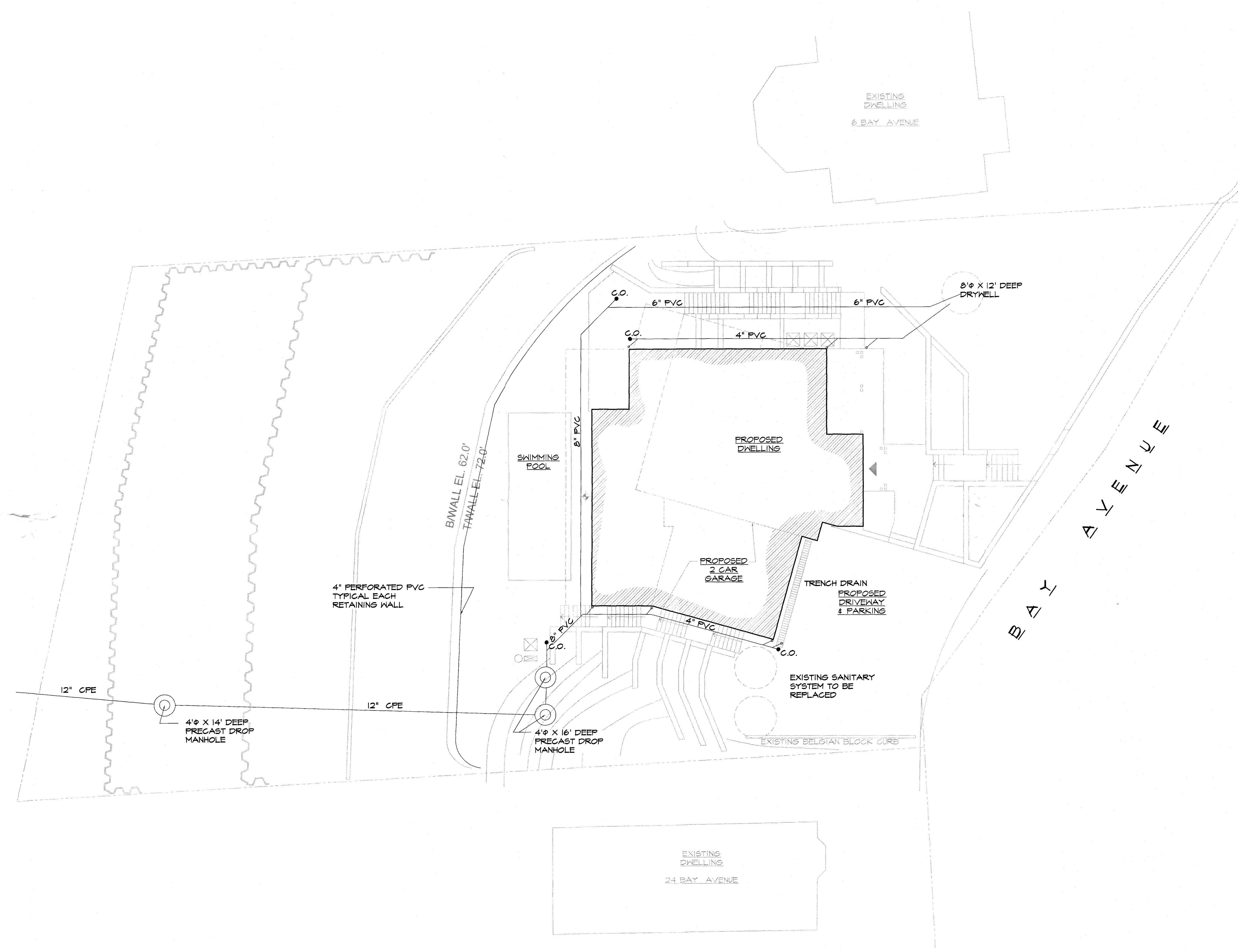
DRAWING:  
SITE PLAN

14 BAY AVENUE RESIDENCE  
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.

ST





**DRAINAGE PLAN**

SCALE: 1"=10'

**JAMES T. CARBALLAL  
ARCHITECT**  
TELEPHONE: 516.674.3936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:  
6-23-20

DRAWN BY:  
JTC

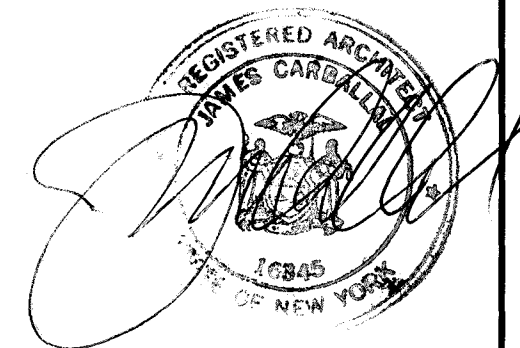
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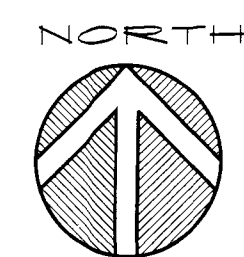

DRAWING:  
**DRAINAGE  
PLAN**

**14 BAY AVENUE RESIDENCE**  
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.

**D-1**  
OCT 23 2020  
BUILDING DEPARTMENT





**LANDSCAPING PLAN**

SCALE: 1"=10'

**JAMES T. CARBALLAL**  
**ARCHITECT**  
 TELEPHONE: 516.674.3936  
 80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
 AS NOTED

DATE:  
 6-23-20

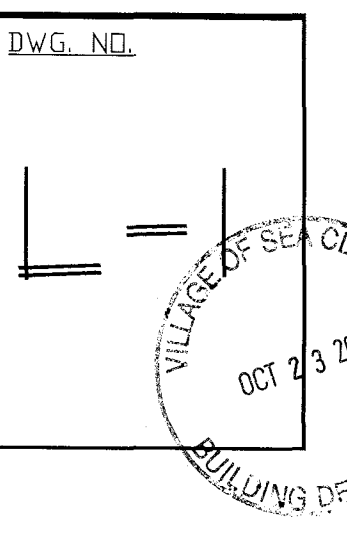
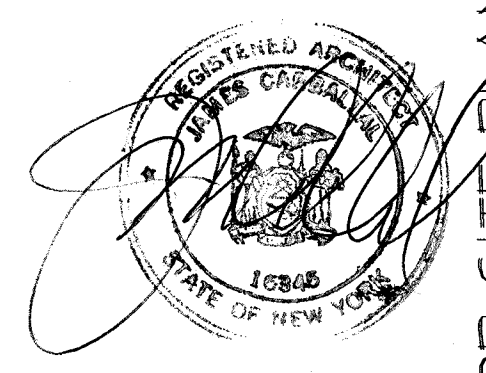
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REVISIONS:

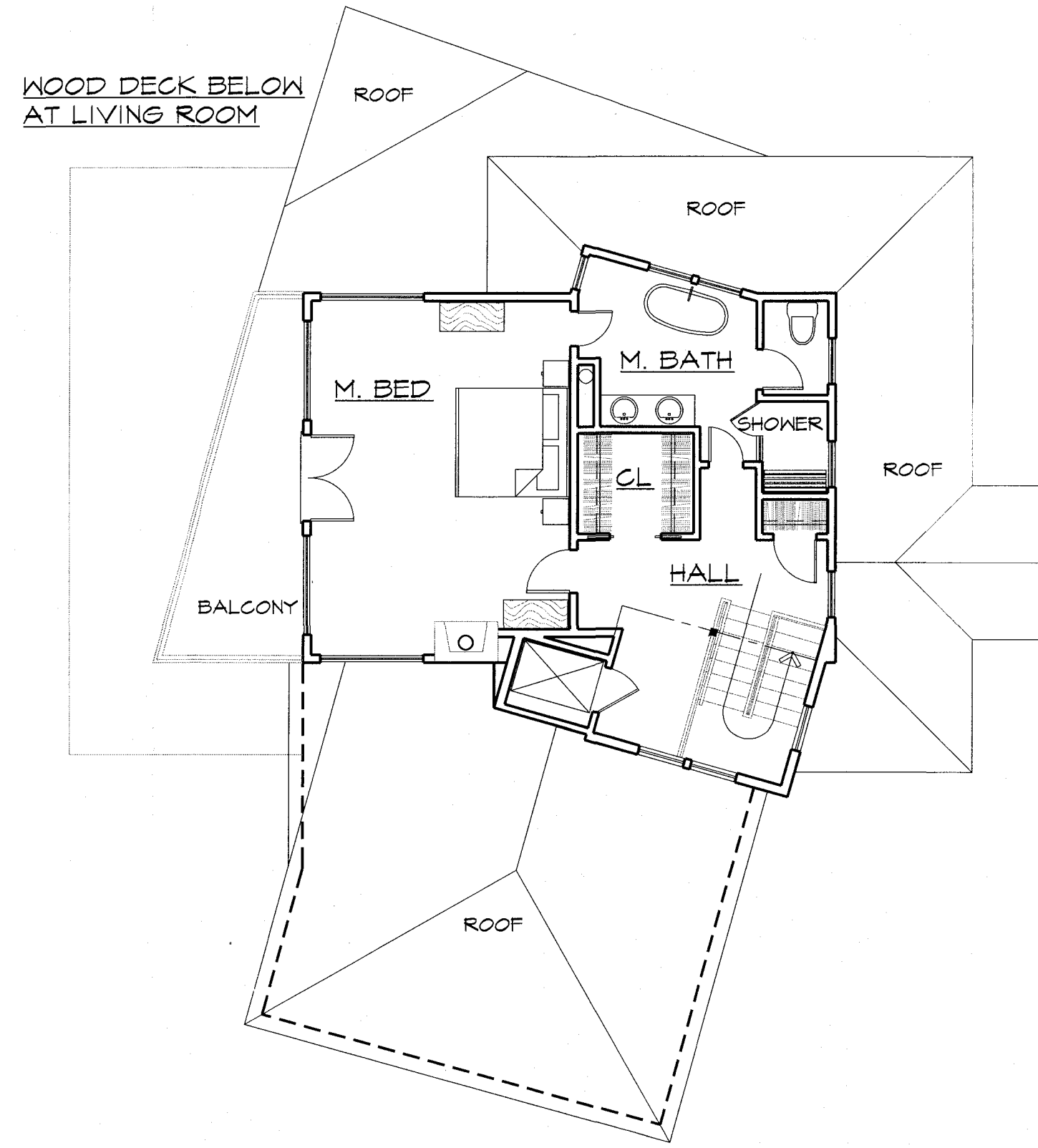

DRAWING:  
**LAND-  
 SCAPE  
 PLAN**

**14 BAY AVENUE RESIDENCE**  
 14 BAY AVENUE, SEA CLIFF, NY 11579

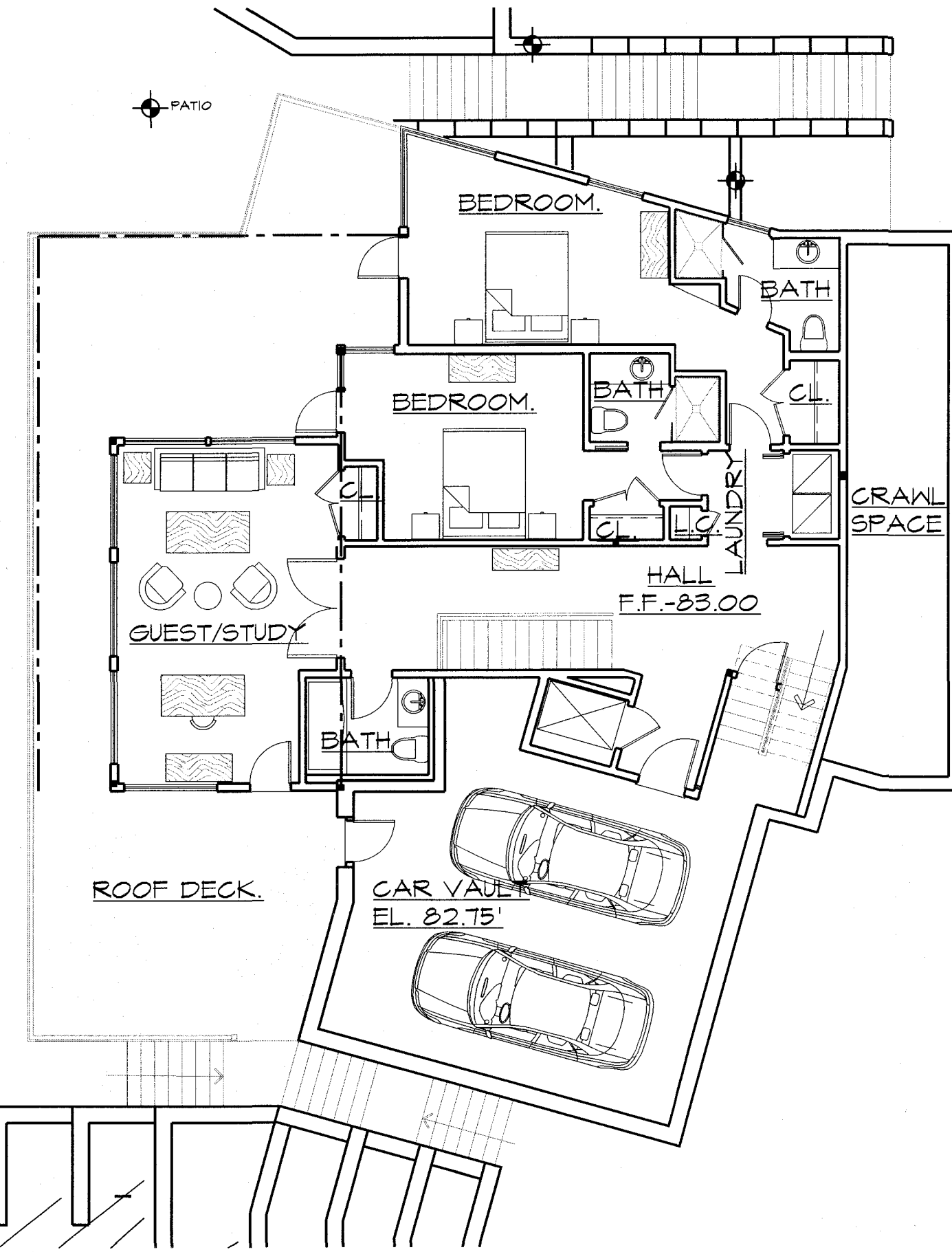
FOR SITE PLAN REVIEW 10-23-20



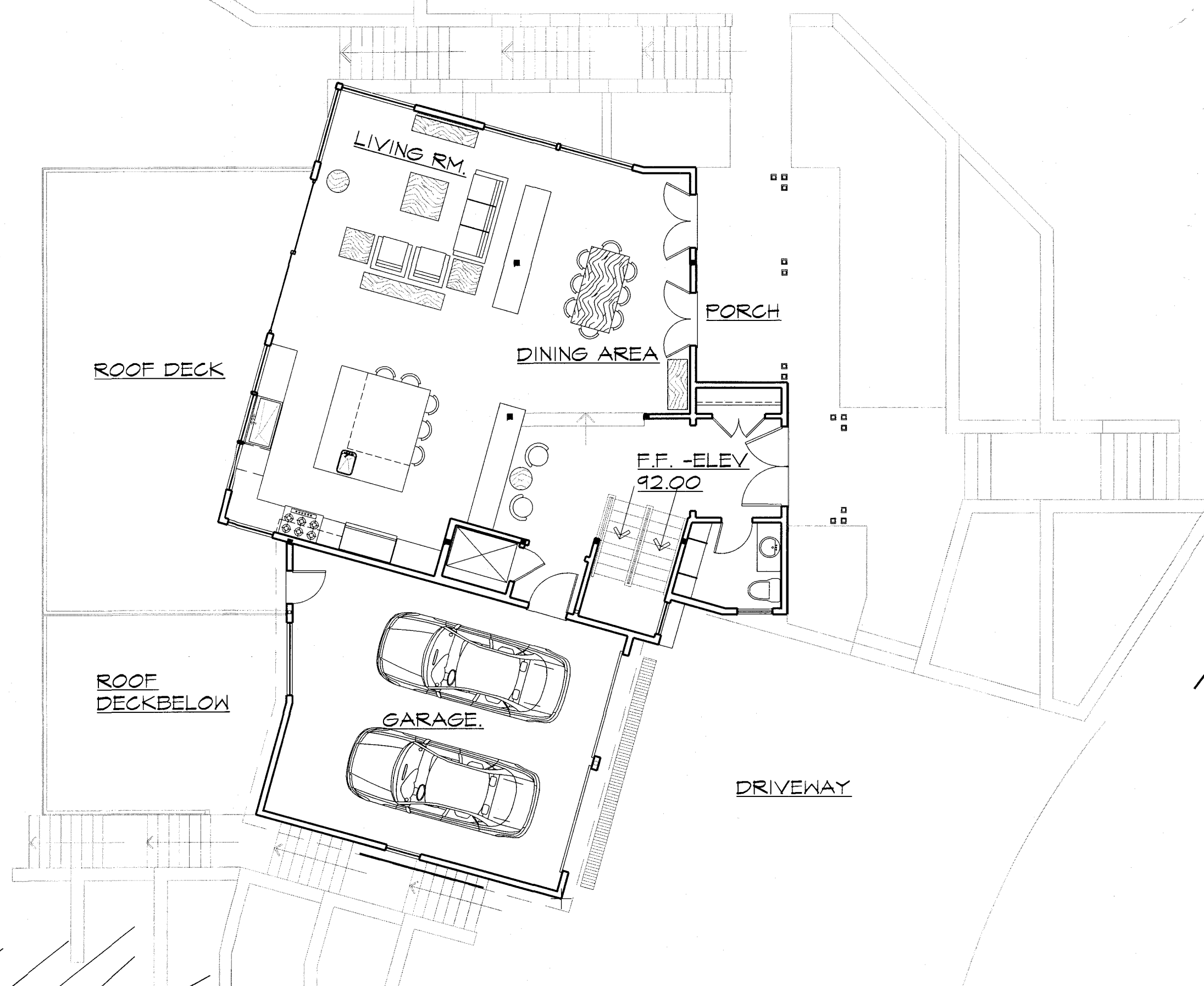




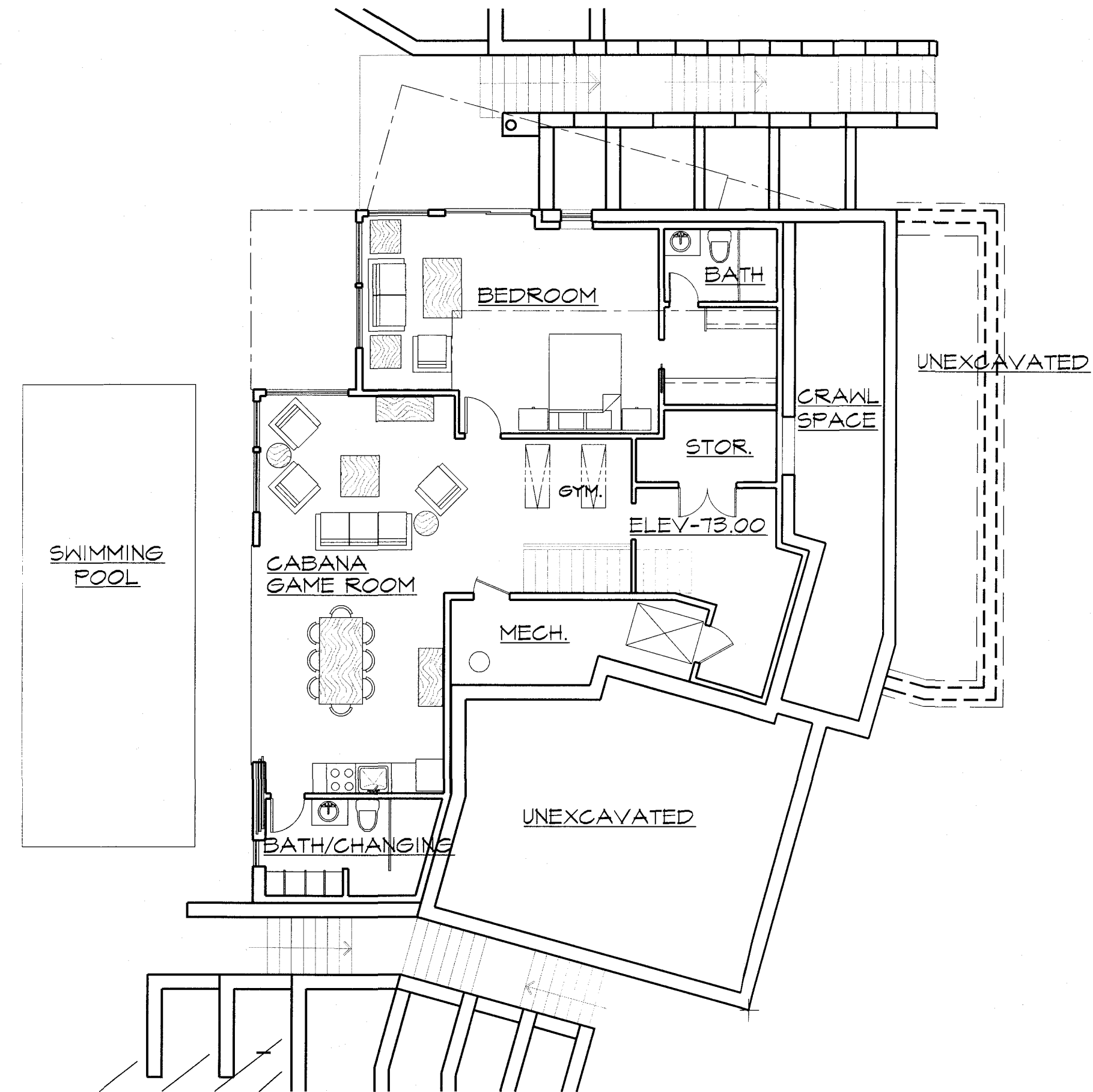
NORTH  
**ATTIC FLOOR PLAN (MASTER)**  
 SCALE: 1/8"=1'-0"



NORTH  
**FIRST FLOOR PLAN (SLEEPING)**  
 SCALE: 1/8"=1'-0"



NORTH  
**SECOND FLOOR PLAN (LIVING)**  
 SCALE: 1/8"=1'-0"



NORTH  
**BASEMENT PLAN**  
 SCALE: 1/8"=1'-0"

**JAMES T. CARBALLAL**  
 ARCHITECT

TELEPHONE: 516.674.3936  
 80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
 AS NOTED

DATE:

DRAWN BY:  
 JTC

REVISIONS:

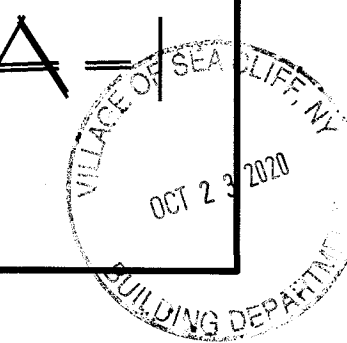
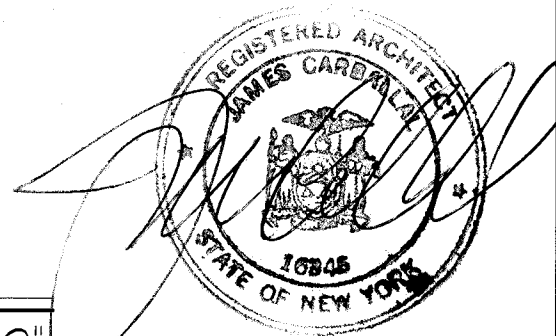
DRAWING:

**FLOOR PLANS**

**14 BAY AVENUE RESIDENCE**

14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.





JAMES T. CARBALLAL  
ARCHITECT

TELEPHONE: 516.674.3936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:

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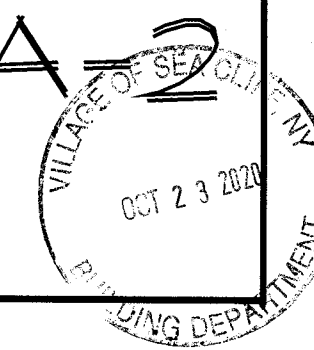
REVISIONS:

DRAWING:

ELEV'S.

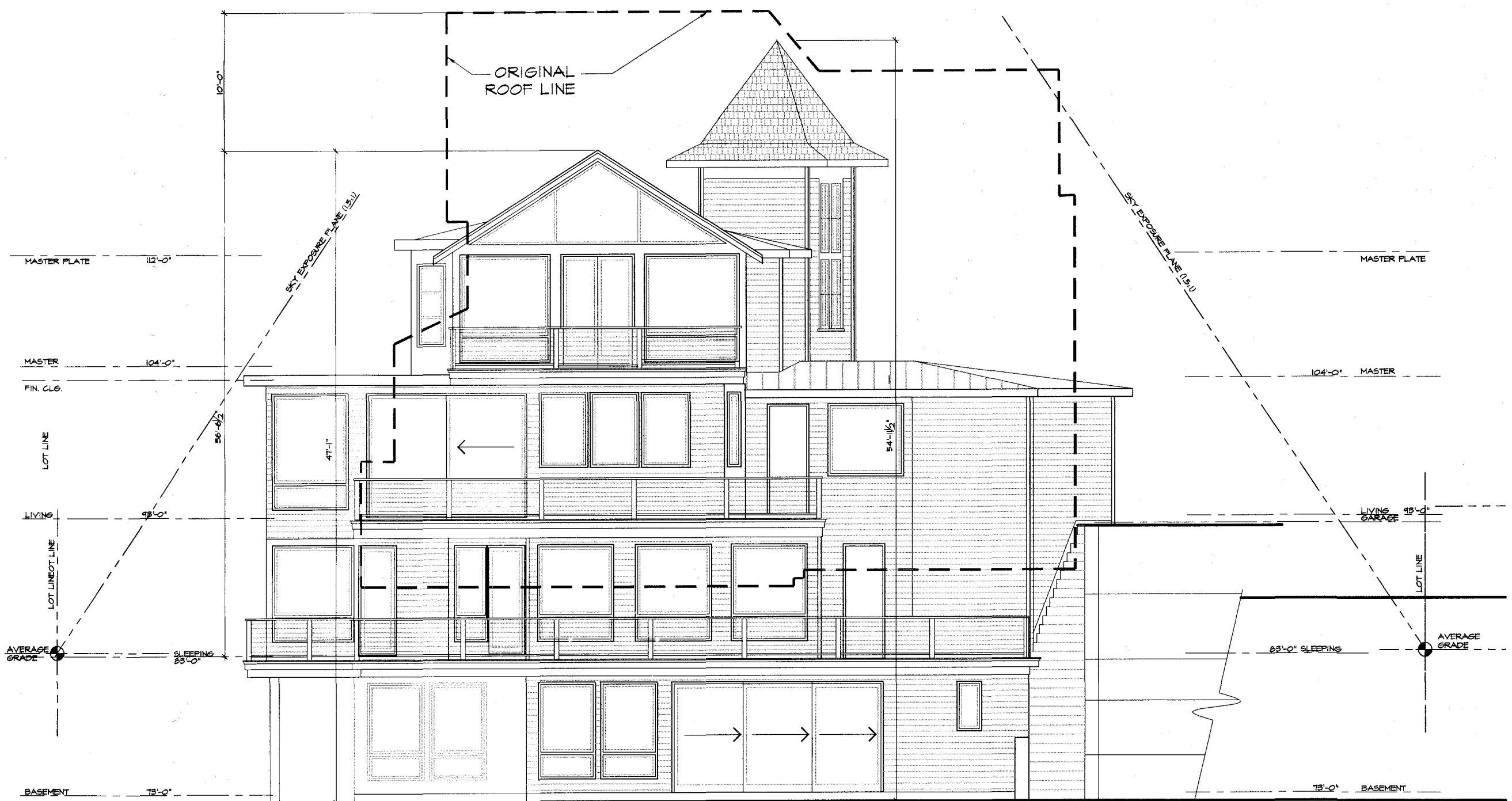
14 BAY AVENUE RESIDENCE  
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.



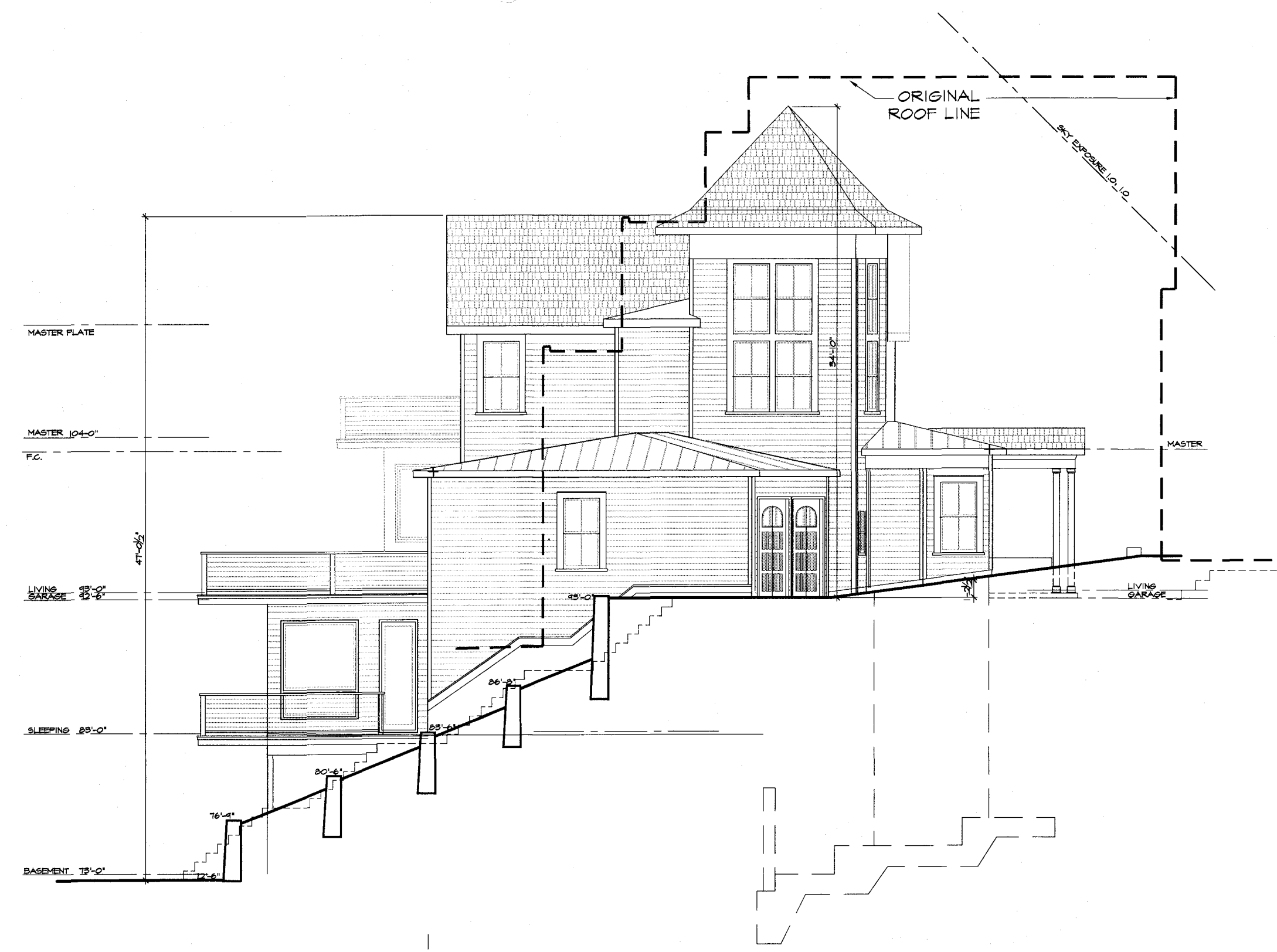
RIGHT SIDE ELEV.

SCALE: 1/8"=1'-0"



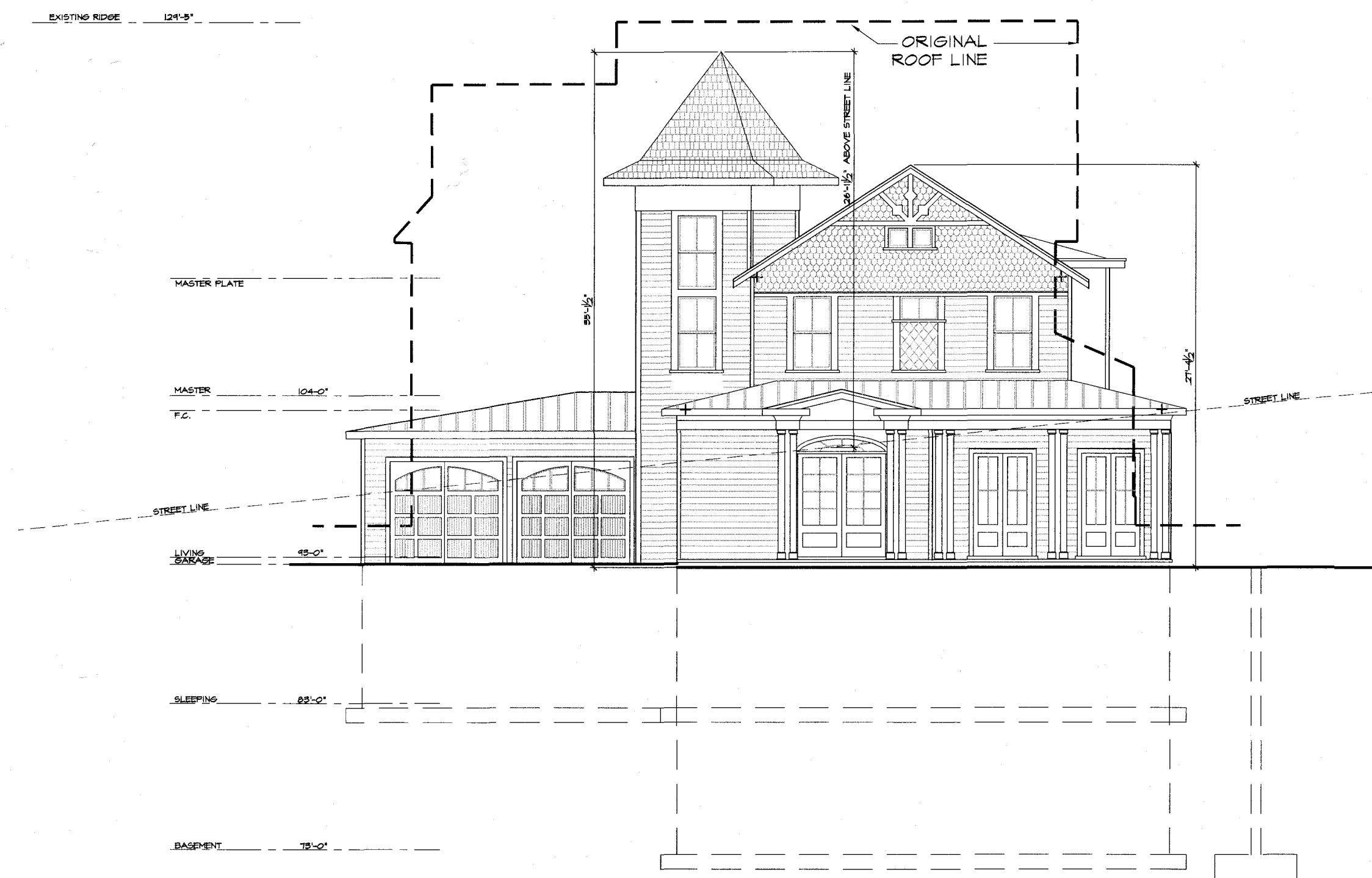
REAR ELEV.

SCALE: 1/8"=1'-0"



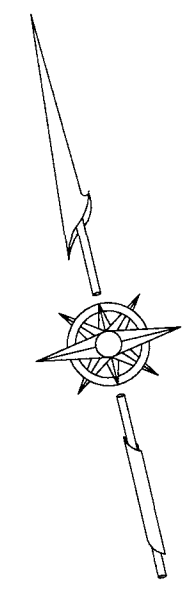
LEFT SIDE ELEV.

SCALE: 1/8"=1'-0"

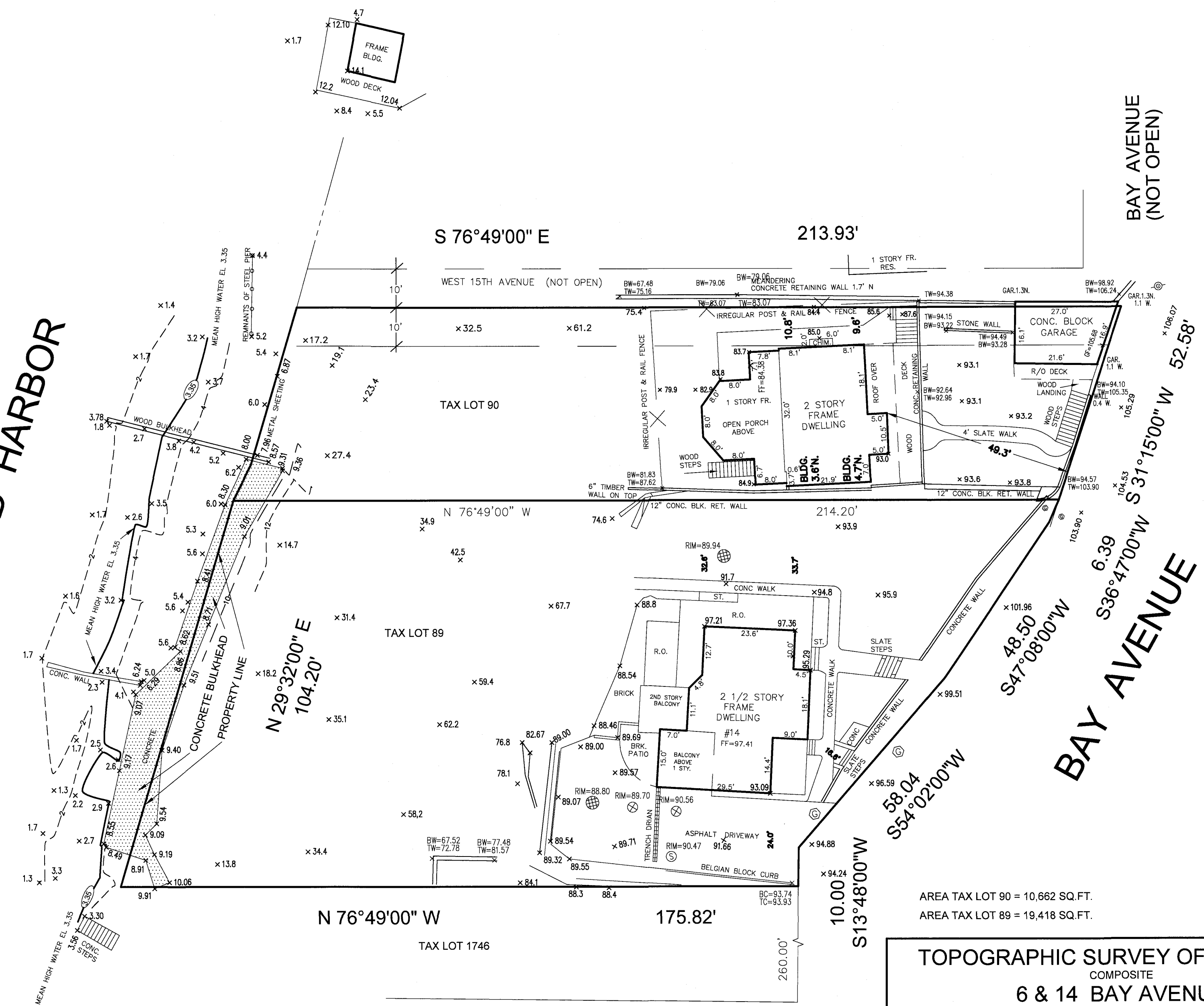


FRONT ELEV.

SCALE: 1/8"=1'-0"



HEMPSTEAD HARBOR



S 76°49'00" E 213.93'

WEST 15TH AVENUE (NOT OPEN) FIFTEENTH AVENUE

TAX LOT 90

N 76°49'00" W

TAX LOT 89

N 29°32'00" E  
104.20'

N 76°49'00" W

TAX LOT 1746

18TH AVENUE

BAY AVENUE  
(NOT OPEN)

BAY AVENUE

AREA TAX LOT 90 = 10,662 SQ.FT.  
AREA TAX LOT 89 = 19,418 SQ.FT.

<b>TOPOGRAPHIC SURVEY OF PROPERTY</b> COMPOSITE <b>6 &amp; 14 BAY AVENUE</b> SITUATED IN INC. VILLAGE OF SEA CLIFF NASSAU COUNTY, NEW YORK			
<b>O'Connor - Petito, L.L.P.</b>			
Land Surveying	27 Forest Avenue		
Civil Engineering	Locust Valley, NY 11560		
		(516) 676-3260	
DATE: 6/11/14	REVISED: UPDATE 7-16-2020	SCALE: 1"=20'	SHEET: 1 OF 1

"UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP PREPARED AND SEALED BY A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW."  
 "Copies from the original of this survey map not marked with an original of the land surveyor's inked seal or his embossed seal shall not be considered a valid true copy."  
 "Certification indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run only to the person for whom the survey is prepared, and on his behalf to the title company, governmental agency and lending institution. Certifications are not transferable to additional institutions or subsequent owners."

NOTE:  
ELEVATIONS SHOWN REFER TO DATUM NAVD88.



VILLAGE OF SEA CLIFF, NY  
JAN 31 2019  
BUILDING DEPARTMENT



RIGHT SIDE



LEFT SIDE



FRONT



REAR

**14 BAY AVENUE DECISION  
(as authorized by Village Code §1302.1)**

At a meeting of the Board of Appeals of the Village of Sea Cliff, New York, on August 25, 2020, on motion duly made by the Chair, seconded by Mr. Pinto, and adopted four votes in favor and Mr. Wolner abstaining, the Board, having duly considered the matters brought forth at the public hearing and other matters properly within the consideration of this Board and discussed the subject application, rendered the following short-form determination:

1. Eugene Alletto, as agent for 14 Bay Avenue LLC, 14 Bay Avenue, Sea Cliff, New York, applied to construct a new residence, which requires variances of the following Village Code sections: (a) 138-401, in that the residence will have a service quarters, which constitutes a second dwelling unit, where the premises may be used as a single family residence, (b) 138-415, in that the residence will have a service quarters, which constitutes a second dwelling unit, where no building shall contain more than one dwelling unit, (c) 138-413, in that (i) the height of the dwelling to the top of the turret is 54.96 feet and to the top of the next lower portion of the house is 47.1 feet, and (ii) the dwelling contains four (4) stories, where the maximum height of the dwelling is 30 feet, where a 5 foot high turret is permitted to extend beyond the 30 feet to a maximum height of 35 feet, and not more than two (2) stories are permitted, and (d) 138-414.1, in that the floor area will be 4,388 square feet, where a maximum of 4,077 square feet is permitted. Premises are designated as Section 21, Block F, Lot 89 on the Nassau County Land and Tax Map.
2. The applicant is the agent for the record owner of the subject premises.
3. The requested relief is classified as a Type II action under SEQRA, which requires no environmental review.
4. The Board provided notice of the application to the Nassau County Planning Commission in accordance with the requirements of the agreement between the Village and the Planning Commission.
5. The relief requested in the application is granted in part and denied in part. The variances of Village Code §§138-413 and 414.1 are granted provided that (a) with the exception of the second dwelling unit use, the construction shall conform to the plans submitted with the application, (b) applicant shall comply with all requirements of the Village Code and the Building Department, and (c) all work is performed, and all approvals obtained, within the timeframe provided in Village Code

§138-1304. As to the variances of Village Code §§138-401 and 415, which are use variances, the application is denied.



MINUTES  
PLANNING BOARD  
VILLAGE OF SEA CLIFF  
VILLAGE HALL  
300 SEA CLIFF AVENUE  
SEA CLIFF, NEW YORK 11579

September 11, 2019

Present:	Chair	Bruce Treiber
	Members	Timothy Driscoll, Cormac Brady, and Allan Mitzner
	Alternate Members	Laurie Martone and Vince Gimondo
	Village Attorney	Brian S. Stolar, Esq.

The meeting was called to order at 7:32 pm.

Ms. Martone did not participate in the Harris or Doherty applications.

The Board opened the continued public hearing on the application of Irene Harris, 156 16<sup>th</sup> Avenue, Sea Cliff, New York, for a permit pursuant to Village Code Chapter 64, to erect a nine (9) foot high wall. Premises are designated as Section 21, Block 151, Lot 12 on the Nassau County Land and Tax Map.

The minutes of the hearing were stenographically transcribed. The hearing was closed, and decision reserved.

The Board opened the public hearing on the application of Joseph Doherty, 111 Littleworth Lane, Sea Cliff, New York, for site plan approval pursuant to Village Code Chapter 107, to construct an inground swimming pool, which will result in an increase in the topography in excess of one foot. Premises are designated as Section 21, Block 77, Lot 48 on the Nassau County Land and Tax Map.



The minutes of the hearing were stenographically transcribed. The hearing was closed, and decision reserved.

Mr. Gimondo did not participate in the 14 Bay Avenue hearing, and Ms. Martone participated.

The Board opened the public hearing on the application of 14 Bay Avenue LLC and Eugene Alleto, 14 Bay Avenue, Sea Cliff, New York to construct retaining walls at the premises, maintain and/or modify the driveway and the rear yard, and modify the topography in the rear area of property located at 14 Bay Avenue, which construction requires (a) approval pursuant to Village Code Chapter 64 in that retaining walls in excess of four (4) feet in height require Planning Board approval and (b) amended site plan approval pursuant to Village Code Chapter 107, to permit the proposed site improvements. Premises are designated as Section 21, Block F, Lot 89 on the Nassau County Land and Tax Map.

The minutes of the hearing were stenographically transcribed. The hearing was closed, and decision reserved.

The Board discussed the Harris application. Ms. Martone did not participate in the discussion. On motion duly made by the Chair, seconded by Mr. Brady, and adopted unanimously, the Board determined that it is the lead agency, the requested relief is a Type II matter under SEQRA that requires no environmental review, and granted the application for a permit to construct the wall, subject to the following conditions: (a) the wall shall be installed in the location, and of a size and material, as indicated in the plans submitted to the

Board, (b) if determined appropriate by the Building Department, applicant shall provide the Building Department with a final survey depicting the location of the wall; and (c) applicant shall obtain a building permit from the Building Department within six (6) months, and a certificate of completion within one (1) year, of the filing of this determination with the Village Clerk.

The Board discussed the Doherty application. Ms. Martone did not participate in the discussion. On motion duly made by the Chair, seconded by Mr. Driscoll, and adopted unanimously, the Board determined that it is the lead agency, the requested relief is a Type II matter under SEQRA that requires no environmental review, and granted the application for site plan approval, subject to the following conditions: (a) applicant shall construct the swimming pool and related improvements in conformance with the plans submitted with the application, (b) applicant shall install drainage facilities in a location and size as determined by the Building Department, to accommodate the impervious coverage and prevent any storm-water from running off the property, (c) applicant shall comply with all requirements of the Building Department, and (d) applicant shall obtain a building permit from the Building Department within six (6) months, and a certificate of completion within one (1) year, of the filing of this determination with the Village Clerk.

Ms. Martone participated in the remainder of the meeting, and Mr. Gimondo did not.

The Board discussed the environmental impact of the 14 Bay Avenue application. On motion duly made by the Chair, seconded by Mr. Mitzner, and adopted unanimously, the Board adopted the following resolution:

RESOLVED, that the Board hereby finds and concludes that

(a) the combined application for site plan approval and wall permits is an Unlisted action under the State Environmental Quality Review Act and its regulations;

(b) the Board has conducted an uncoordinated review and is the lead agency with respect to environmental review of this proposed action for site plan approval and wall permits;

(c) the Board has considered the following factors in respect to its review of the environmental impacts of the proposed action:

(i) whether the proposed action would result in any substantial adverse change in existing air quality, ground or surface water quality or quantity, traffic or noise levels, nor any substantial increase in solid waste production, nor create a substantial increase in the potential for erosion, flooding, leaching or drainage problems;

(ii) whether the proposed action would result in the removal or destruction of large quantities of vegetation or fauna, substantial interference with the movement of any resident or migratory fish or wildlife species, impacts on a significant habitat area, substantial adverse impacts on a threatened or endangered species of animal or plant, or the habitat of such a species, or other significant adverse impacts to natural resources;

(iii) whether the proposed action would impair the environmental characteristics of any Critical Environmental Area;

(iv) whether the proposed action would conflict with the community's current plans or goals as official approved or adopted;

(v) whether the proposed action would impair the character or quality of important historical, archeological, architectural or aesthetic resources or of existing community or neighborhood character;

(vi) whether the proposed action would result in a major change in the use of either the quantity or type of energy;

(vii) whether the proposed action would create a hazard to human health;

(viii) whether the proposed action would create a substantial change in the use, or intensity of use, of land, including agricultural, open space or recreational resources, or in its capacity to support existing uses;

(ix) whether the proposed action would encourage or attract large numbers of persons to any place for more than a few days, compared to the number who would come to such place without such action;

(x) whether the proposed action would create changes in two or more elements of the environment, no one of which would have a

significant impact on the environment, but when taken considered together would result in a substantial adverse impact on the environment;

(xi) whether the proposed action would create substantial adverse impacts when considered cumulatively with any other actions, proposed or in process;


(xii) whether the proposed action would result in substantial adverse impact with respect to any relevant environmental consideration, including noise, aesthetics, traffic, air quality, water quality or adequacy of water supply, drainage, soil conditions, or quality of life in the community in general and the immediate neighborhood in particular;

(d) the proposed action, particularly given the plans as reviewed by a retained engineer and approved by the NYS Department of Environmental Conservation would not have a significant adverse environmental impact; and

(e) no further environmental review is required with respect to the proposed action

The Board discussed the 14 Bay Avenue application. On motion duly made by the Chair, seconded by Mr. Mitzner, and adopted unanimously, the Board approved the site plan and wall permit application of 14 Bay Avenue Commons in accordance with the attached decision.

There being no further business, the Chair closed the meeting at 8:25 pm.

  
\_\_\_\_\_  
BRUCE TREIBER, CHAIR

VILLAGE OF SEA CLIFF, NY

SEP 23 2019

VILLAGE CLERK



-----X  
In the Matter of the Application of

14 BAY AVENUE LLC and EUGENE ALLETO

to construct retaining walls at the premises, maintain and/or modify the driveway and the rear yard, and modify the topography in the rear area of property located at 14 Bay Avenue, which construction requires (a) approval pursuant to Village Code Chapter 64 in that retaining walls in excess of four (4) feet in height require Planning Board approval and (b) amended site plan approval pursuant to Village Code Chapter 107, to permit the proposed site improvements. Premises are designated as Section 21, Block F, Lot 89 on the Nassau County Land and Tax Map.

-----X  
RESOLVED, upon consideration of the evidence presented at the public hearing held by the Planning Board (the "Board"), all proceedings had herein, all documentation submitted to the Board, following the personal inspection of the subject property by the Board members, and after due deliberation, the Board makes the following findings of fact and decision:

1. This is an application by 14 Bay Avenue LLC, owner of property located at 14 Bay Avenue, Sea Cliff, New York and designated on the Nassau County Land and Tax Map as Section 21, Block F, Lot 89 (the "Premises"), to construct retaining walls at the premises, maintain and/or modify the driveway and the rear yard, and modify the topography in the rear area of property located at 14 Bay Avenue, which construction requires (a) approval pursuant to Village Code Chapter 64 in that retaining walls in excess of four (4) feet in height require Planning Board approval and (b) amended site plan approval pursuant to Village Code Chapter 107, to permit the proposed site improvements. The proposed work is depicted on plans submitted by the applicant, and include plans prepared by Dietrich Engineering,

P.C., dated 03/2019, last revised 07/02/2018, and date stamped by the Village on August 30, 2019, sheets C-1 through C-10, inclusive (the "Proposed Work").

2. In connection with the Proposed Work, the applicant has received approval from the New York State Department of Environmental Conservation (DEC) for a tidal wetlands permit (permit ID 2824-03199/00001) effective January 31, 2017 and amended effective July 17, 2019 (the "DEC Approval" or "DEC Permit"). The Proposed Work requires no variances.

3. The Board has declared itself to be the lead agency with respect to this application under the State Environmental Quality Review Act (SEQRA) and determined that the proposed action requested under this application is an Unlisted Action under SEQRA and adopted a negative declaration. The Board referred the application to the Nassau County Planning Commission and no response has been received from the Planning Commission. Accordingly, the Board may take such action on this application as the Board deems appropriate.

4. In rendering its determination, the Board has considered the testimony and documentary evidence submitted with the application and during the public hearing process, its own inspections of the Premises and the surrounding neighborhood, and the review comments provided by Newport Engineering, P.C. The Board has reviewed the site plan application in accordance with the provisions of Chapter 107, including Section 107-5, and the wall permit criteria in Chapter 64, and finds that the Proposed Work, subject to the conditions herein, including strict adherence to the DEC Approval, complies with the criteria set forth within Chapters 107 and 64. Accordingly, the Board grants site plan and wall permit approval, subject to the following conditions:

a. The Proposed Work shall adhere strictly to the plans identified in paragraph 1 herein.



b. The proposed walls shall be constructed in the locations, at the heights, and utilizing the construction materials indicated in the aforesaid plans.

c. The site improvements, including all topography changes, drywells, stormwater runoff and drainage features, shall be constructed in strict conformance with the aforesaid plans.

d. The applicant shall comply with all conditions contained in the DEC Permit. If the Proposed Work has to be modified for any reason, no such modification will be permitted unless authorized by the DEC and this Board.

e. Plantings shall be planted and maintained west of each of the three (3) easterly retaining walls (identified in the plans as Retaining Wall #1, #2 and #3) in a manner that restricts the view of the aforesaid walls from Hempstead Harbor, as approved by the DEC and the Building Department.

f. If the Village is required to retain the services of any professional to observe the work or address any specific conditions, the costs and expenses incurred by the Village in connection with such work shall be borne and paid by applicant, and if such payment is not made, shall be assessed by the Board of Trustees upon the Premises. Applicant, upon being provided with written notice of the costs and expenses incurred, or anticipated to be incurred, shall make payment to the Village. If applicant shall fail to pay such costs or expenses within 15 days of the giving of such notice, the Village Clerk shall thereupon notify the Village Assessor, who shall immediately fix and determine a special assessment against the Premises in the amount of such costs and expenses, and present such assessment to the Board of Trustees for confirmation. A lien shall attach to the Premises as of the time such assessment is confirmed, which lien shall have the same priority as a Village tax. Collection and cancellation of such special assessment shall be in accordance with the provisions of Village

Law. In addition, except as necessitated by emergency circumstances (as determined by the Superintendent of Buildings) no inspections may take place or permits or certificates may issue until all such costs and expenses are paid.

g. Removal of construction materials shall comply with all requirements of the building department, including the timing of such removal and the use of dumpsters and dump truck. No such dumpsters or dump trucks shall be placed off-site.

h. Parking shall be on-site, and no parking of vehicles associated with the work shall be located on Bay Avenue or any roads intersecting Bay Avenue.

i. Construction equipment and materials, and staging materials, shall be stored on-site or on Hempstead Harbor on barges, but not on Bay Avenue.

j. Except as indicated in the approved plans, the applicant shall make no changes to the topography of the Premises.

k. The drainage system shall comply with all applicable laws and regulations and shall contain all storm-water on-site.

l. A qualified engineer, or other professional consultant, as deemed acceptable by the building department, after consultation with an engineer, shall remain on-site during the entirety of the proposed work to assure that there will not be any damage to adjoining properties or the public roadways and that the land will remain stabilized during and after completion of the construction. Applicant shall be responsible to obtain such professional at applicant's sole cost and expense. The applicant's engineer shall provide site engineering inspections according to proper protocol, which shall include any special agency inspections required in relation to the tie-back anchor testing, soil requirements and off-site

sources, soil compaction, structural stability and all other standard engineering inspections.

m. If any portion of the Proposed Work requires use of, or access to, an abutting premises, applicant shall obtain written authorization from the abutting neighbor prior to commencing such work.

n. Applicant shall install erosion protections on the site to assure that there is no erosion of any materials onto neighboring properties, Hempstead Harbor or the public roadways. As this site has the potential for erosion due to topography and the potential for any such eroded materials to enter the waterway due to the proximity of the Premises to Hempstead Harbor, applicant shall be responsible to assure that such erosion protections shall remain working and functional throughout the construction period. Also, in the event of a forecasted rain or snow storm during the construction, the applicant shall secure the site with additional erosion protection measures, including sandbags.

o. Applicant shall provide safety and shoring, as per OSHA and site specific shoring plans provided by a licensed engineer and accepted by the building department and Newport Engineering.

p. Applicant shall provide the building department with a site logistic, including access, which plan is subject to review and approval of the building department.

q. A copy of the final DEC approval shall be filed with the Village as a condition of any building permit issued in connection with the Proposed Work.

r. Applicant shall file with the Village an existing conditions report together with photographs of abutting properties and conditions of the abutting properties within 20 feet of the Premises.

s. Applicant shall provide a vibration monitoring plan to the building department, and no work shall commence until such plan is approved by the building department. The vibration monitoring plan shall incorporate sensors at each of the three property lines (north, south and east), and shall include the corporate curriculum vitae of the firms and/or personnel performing any monitoring work.

t. All construction or other on-site debris shall be contained in a covered container to assure that no such debris is blown or otherwise removed unintentionally from the Premises.

u. Work shall be performed during hours permitted by the building department, and no construction related work shall take place on Saturdays between Memorial Day weekend and Labor Day weekend. No work is permitted on Sundays.

v. Prior to the issuance of a certificate of occupancy for, or other authorization of the occupancy of, the residence, applicant shall be required to repair any damage to curbing or roadways, if such damage is determined by the Village building department to have occurred due to any construction activity.

w. Upon the completion of the Proposed Work, and as a predicate to any final sign off by the building department of the Proposed Work, applicant's engineer shall provide the building department with certification that the Proposed Work complies with the plans and the New York State Uniform Code was performed in accordance with applicable engineering standards and requirements, and has been completed in accordance with such Uniform Code and engineering standards and requirements.

WENGER MARC & SHEILA  
OR CURRENT OWMER ✓  
162 162TH AVE  
SEA CLIFF, NEW YORK 11579

WEINSTEIN CHARLES, ELIZABETH ✓  
OR CURRENT OWMER  
30 BAY AVE  
SEA CLIFF, NEW YORK 11579

14 BAY AVENUE COMMONS LLC ✓  
OR CURRENT OWMER  
14 BAY AVE  
SEA CLIFF, NEW YORK 11579

KAVANAGH DONALD ✓  
OR CURRENT OWMER  
142 17TH AVE  
SEA CLIFF, NEW YORK 11579

TILLEY-KEEL KARIN LIFE ESTATE ✓  
OR CURRENT OWMER  
198 15TH AVE  
SEA CLIFF, NEW YORK 11579

MITCHELL PAUL ANDERSON & E ✓  
OR CURRENT OWMER  
1 BAY AVE  
SEA CLIFF, NEW YORK 11579

MINDICH MELISA ✓  
OR CURRENT OWMER  
31 BAY AVE  
SEA CLIFF, NEW YORK 11579

KETAY SAM & JENIZA ✓  
OR CURRENT OWMER  
139 17TH AVE  
SEA CLIFF, NEW YORK 11579

LERMAN GREGG & ALISON ✓  
OR CURRENT OWMER  
173 16TH AVE  
SEA CLIFF, NEW YORK 11579

LI SEBASTIAN ✓  
OR CURRENT OWMER  
26 BAY AVE  
SEA CLIFF, NEW YORK 11579

LI SEBASTIAN ✓  
OR CURRENT OWMER  
26 BAY AVE  
SEA CLIFF, NEW YORK 11579

BUCKLEY C WHEELER & DENNIS ✓  
OR CURRENT OWMER  
25 BAY AVE  
SEA CLIFF, NEW YORK 11579

HALPERN KENNETH & WENDY ✓  
OR CURRENT OWMER  
245 TILLEY PL  
SEA CLIFF, NEW YORK 11579

PITEGOFF THOMAS M & ✓  
OR CURRENT OWMER  
24 BAY AVE  
SEA CLIFF, NEW YORK 11579

DORAN CHRISTOPHER G ✓  
OR CURRENT OWMER  
6 BAY AVE  
SEA CLIFF, NEW YORK 11579

PETERSEN WESLEY & DENISE ✓  
OR CURRENT OWMER  
138 17TH AVE  
SEA CLIFF, NEW YORK 11579

CONCEPCION JORGE H ✓  
OR CURRENT OWMER  
174 15TH AVE  
SEA CLIFF, NEW YORK 11579

14 Bay Ave, LLC -  
14 Bay Ave.



\*\*\*\* Electronically Filed Document \*\*\*\*

Instrument Number: 2018-110405

Recorded As: EX-D01 - DEED

Recorded On: December 14, 2018

Recorded At: 03:15:14 pm

Receipt Number: 1308679

Number of Pages: 5

Processed By: 001 AAR

Book-VI/Pg: Bk-D VI-13744 Pg-208

Total Rec Fee(s): \$495.00

\*\* Examined and Charged as Follows \*\*

01 - DEED	\$ 65.00	EX-Blocks - Deeds - \$300	\$ 300.00	EX-RP5217 Residential Fee	\$ 125.00
EX-TP-584 Affidavit Fee	\$ 5.00				

	Tax Amount	Consid Amt	RS#/CS#		
Tax-Transfer	\$ 0	\$ 600000.00	RE 11113	Basic	\$ 0.00
OYSTER BAY				Local NY CITY	\$ 0.00
EXEMPT				Additional MTA	\$ 0.00
				Spec ASST	\$ 0.00
				Spec ADDL SONYMA	\$ 0.00
				Transfer	\$ 0.00

Tax Charge: \$ 0

Property Information:

Section	Block	Lot	Unit	Town Name
21	F	89		OYSTER BAY

\*\*\*\*\*THIS PAGE IS PART OF THE INSTRUMENT\*\*\*\*\*

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.



Maureen O'Connell  
County Clerk Maureen O'Connell

**Bargain and Sale Deed with Covenants against Grantor's Acts**

**THIS INDENTURE**, made as of the 21st day of November, two thousand eighteen

**BETWEEN**

14 BAY AVENUE COMMONS, LLC, a New York limited liability company with offices located at 48 East Old Country Road, Suite 203, Mineola, New York 11501

party of the first part, and

14 BAY AVENUE LLC, a New York limited liability company with offices located c/o Eugene Alletto, 110 Bi-County Boulevard, Suite 101, Farmingdale, New York 11735

party of the second part,

**WITNESSETH**, that the party of the first part, in consideration of ten dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

**SEE SCHEDULE "A" ANNEXED HERETO**

**TOGETHER** with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

**AND** the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

**AND** the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

Being and intended to be the same premises as conveyed to the party of the first part by deed dated January 21, 2015 and recorded in the Office of the Clerk of the County of Nassau on the 29th day of January, 2015 in Liber 13172, Page 924.

Sec  
21

Block  
F  
Lot  
89



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**BARGAIN AND SALE DEED**  
**With Covenants Against Grantor's Acts**

**Title No.**

---

14 BAY AVENUE COMMONS, LLC

TO

14 BAY AVENUE LLC

---

PROPERTY ADDRESS: 14 Bay Avenue  
Sea Cliff, New York 11579

SECTION: 21  
BLOCK: F  
LOT: 89  
COUNTY: NASSAU

**RECORD AND RETURN TO:**

MAURA NICOLosi, ESQ.  
THE NICOLosi LAW FIRM, P.C.  
101 Northern Boulevard, Suite 312  
Great Neck, New York 11021

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

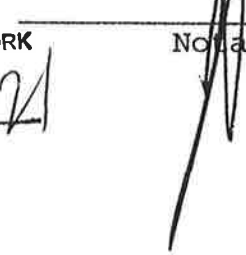
14 BAY AVENUE COMMONS, LLC

BY   
MANOUCHEHR MALEKAN, MEMBER

STATE OF NEW YORK )  
COUNTY OF NASSAU )

On the 21st day of November in the year 2018, before me, the undersigned, personally appeared MANOUCHEHR MALEKAN, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual or the person on behalf of which the individual acted, executed the instrument.

JAY L. YACKOW  
NOTARY PUBLIC - STATE OF NEW YORK  
NO. 4793749  
QUALIFIED IN NASSAU COUNTY  
COMMISSION EXPIRES OCT. 31, 2021

  
Notary Public



Title No. 3020-925895

**SCHEDULE "A"**

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE INCORPORATED VILLAGE OF SEA CLIFF, TOWN OF OYSTER BAY, COUNTY OF NASSAU AND STATE OF NEW YORK, KNOWN AND DESIGNATED AS LOTS NUMBERS 1744 AND 1745 ON A CERTAIN MAP ENTITLED, "MAP OF SEA CLIFF GROVE, GLEN COVE, LONG ISLAND, SEA CLIFF GROVE AND METROPOLITAN CAMP GROUND ASSOCIATION OF NEW YORK AND BROOKLYN, JAMES H. PERRY, ENGINEER, DECEMBER 8, 1871", AND FILED IN THE QUEENS COUNTY CLERK'S OFFICE ON AUGUST 31, 1880, AS MAP NUMBER 436, NASSAU COUNTY NUMBER 99. SAID LOTS BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY SIDE OF BAY AVENUE, DISTANT 260 FEET NORTHERLY FROM THE CORNER FORMED BY THE INTERSECTION OF THE WESTERLY SIDE OF BAY AVENUE WITH THE NORTHERLY SIDE OF 18TH AVENUE;

RUNNING THENCE NORTH 76° 49' WEST, 175.82 FEET TO HEMPSTEAD HARBOR;

THENCE ALONG HEMPSTEAD HARBOR, NORTH 29° 32' EAST, 104.20 FEET;

THENCE SOUTH 76° 49' EAST, 214.20 TO THE NORTHWESTERLY SIDE OF BAY AVENUE;

THENCE ALONG THE NORTHWESTERLY AND WESTERLY SIDES OF BAY AVENUE, THE FOLLOWING 4 COURSES AND DISTANCES:

1. SOUTH 36° 47' WEST, 6.39 FEET;
2. SOUTH 47° 08' WEST, 48.50 FEET;
3. SOUTH 54° 02' WEST, 58.04 FEET;
4. SOUTH 13° 48' WEST, 10 FEET TO THE POINT OR PLACE OF BEGINNING.

**THE** policy to be issued under this report will insure the title to such buildings and improvements erected on the premises, which by law constitute real property.

**FOR CONVEYANCING ONLY: TOGETHER** with all the right, title and interest of the party of the first part, of in and to the land lying in the street in front of and adjoining said premises.

DONALD & LAURA KAVANAGH  
142 17<sup>TH</sup> AVENUE  
SEA CLIFF, NEW YORK 11579  
516 484-0254

December 1, 2020

Chairman Bruce Trieber  
& Members of the Planning Board  
Incorporated Village of Sea Cliff  
300 Sea Cliff Avenue  
Sea Cliff, New York 11579

Re: Applicant: Eugene Alletto, as agent for 14 Bay Avenue, LLC  
Premises: 14 Bay Avenue, Sea Cliff, New York 11579

Dear Chairman Trieber and Members of the Board:

We reside two doors away from 14 Bay Avenue. We believe it is important that the Planning Board be aware of the impact this project will have on us and our neighbors.

We ask the Planning Board to consider the unique conditions which exist on 16<sup>th</sup> Avenue, Bay Avenue and the adjoining streets. Our streets are exceedingly narrow and passage is often difficult under the best circumstances. During construction it will be particularly difficult to access our homes and to park vehicles. More importantly, neither 16<sup>th</sup> nor Bay Avenue have sidewalks. Some homes have steps that exit directly onto the street with no buffer or clear view of traffic. An example is 156 16<sup>th</sup> Avenue which has steps that exit directly onto 16<sup>th</sup> Avenue. Significant traffic and particularly truck traffic on 16<sup>th</sup> Avenue and the adjacent streets would be problematic and dangerous. This is a particular concern from a safety standpoint as several of our neighbors on 16<sup>th</sup> Avenue have young children. For all these reasons, should significant fill be required for the project, we request that it be supplied via the harbor and not by trucks on our local streets.

In addition, were the fill to be transported by heavy trucking on 16<sup>th</sup> Avenue, which appears to be the present plan, the homes in the immediate area would be subjected to vibration and possible damage. Heavy truck traffic in such close proximity to these structures raises concerns that the brick and stone foundations and retaining walls of these old homes would be susceptible to this kind of damage.

As you know, in considering an application of this kind, the Planning Board must focus on the impact the application will have on the neighborhood and adjoining properties:

Village Code §107-5 - Standards for approval and disapproval of applications.

The Planning Board shall consider each site plan submitted to it for compliance with the following criteria, objectives and standards:

A. Protection of the character of the neighborhood and prevention of depreciation of adjoining properties.

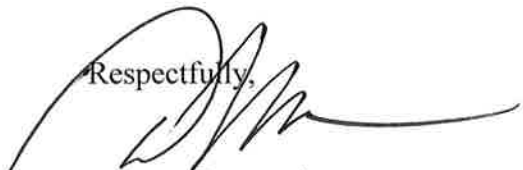
Chairman Bruce Trieber  
& Members of the Planning Board  
Incorporated Village of Sea Cliff  
December 1, 2020  
Page 2

B. Achievement of a harmonious relationship and maximum compatibility among the uses shown on said site plan and uses located on adjoining and adjacent properties and districts.

While it is understandable that the applicant wishes to minimize his costs, this should not be done at the expense and inconvenience of his neighbors.

The Planning Board and the Superintendent of Buildings have the authority and the responsibility to set appropriate standards and conditions for this project. We request that the building permit be conditioned on the transport of fill to the site via barge from the Harbor side rather than truck to reduce the burden and damage this major project will cause to the neighboring properties.

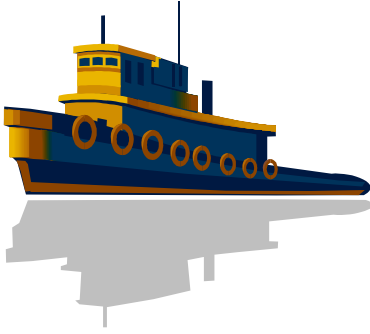
Respectfully,



Donald Kavanagh



Laura Kavanagh



# *F. Scobbo Contractors, Inc. & Foundation Systems*

Certified N.Y.S. W.B.E.

---

1212 Port Washington Boulevard • Port Washington, New York 11050  
(516) 944-PIER • F: (516) 944-2522  
[www.nynjhelix.com](http://www.nynjhelix.com)

## **Staging & Logistics**

**TO:** Eugene Alletto  
14 Bay Ave, Sea Cliff, NY  
**Date:** Dec 11<sup>th</sup>, 2020

**RE: Staging and logistics plan for**

**Retaining walls inland – means and methods are proprietary to Scobbo Contractors.**

**Logistics & Staging:**

1. All demo of existing house to be completed prior to starting upland work.
2. Retaining wall materials to be staged on site in small quantities due to limited access and available laydown area storage.
3. Owner to obtain parking permit to use temporary parking – consisting of two (2) parking spots in front of 14 Bay Ave.
4. Existing driveway to be utilized first for parking and staging, additional parking if needed will be on Bay Ave- pictured here are the parking spots to be utilized if needed for parking and unloading



5.





6. Deliveries will be guided down 16<sup>th</sup> Ave . Mostly straight trucks and smaller trailers only.
7. Flagman will be utilized for off loading operations and traffic safety.
8. During off loading of SOE equipment and materials, materials will be backed down 16<sup>th</sup> Ave and unloaded at intersection .
9. All concrete trucks will be backed down 16<sup>th</sup> Ave.
10. During days of concrete pumping, flagman will be placed at W15th Ave and 16<sup>th</sup> Ave for traffic control.
11. BAY AVE at intersection of 16<sup>th</sup> ave will need to be closed temporarily when pumping concrete

12. Trucks will be staged on Prospect Ave as needed to unload equipment and materials ( steel, concrete, etc)



- 13.
14. A standard size 22 meter concrete boom pump will be used on the days required to pour concrete foundations- Due to the size of the boom pump and limited access, site vehicles will be staged on Prospect Ave and 16<sup>th</sup> Ave. as needed.





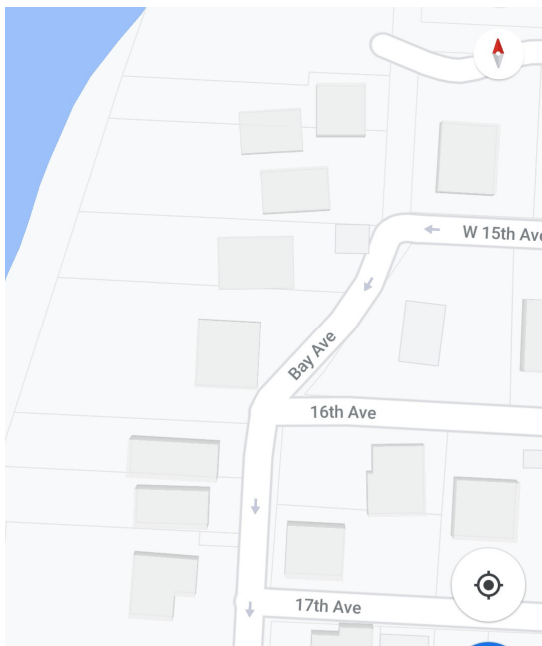
15.

16. If needed, our company ATV will be used to transport crew and small tools to and from company vehicles parked on Prospect Ave to Bay Ave in an effort to reduce over crowding.

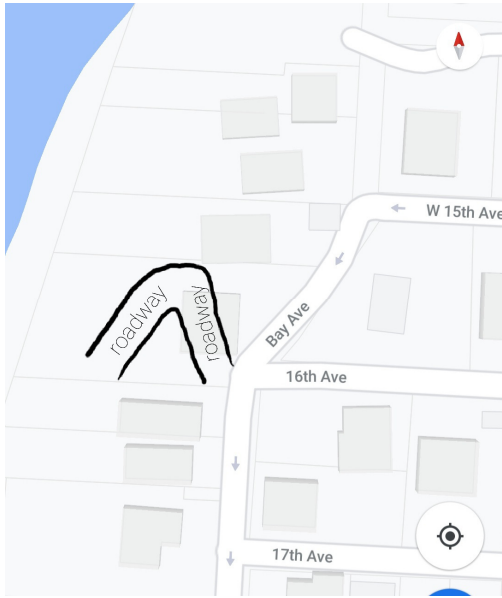


17.

18. Any flagman will be equipped with two-way radios to communicate to each other and foreman on site.
19. The Sea-Cliff Fire Dept and NCPD 6<sup>th</sup> Pct. will be notified of any temporary closures during unloading, loading and concrete pumping operations.
20. Once the existing house is demolished, that footprint will be used for staging and laydown as needed.
21. Retaining walls will be constructed first prior to concrete foundation pouring.
22. Roadway will be constructed on a 2:1 slope to transport equipment and materials to the first retaining wall at EL.44.0



23.

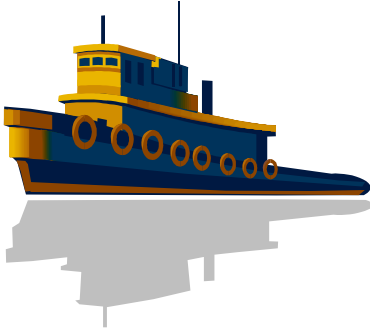


24.

25. A second steel bulkhead retaining wall is to be constructed at EL 36.00 from upland means and access.

26. The First concrete block retaining wall to be constructed started at EL. 44.0. Materials to be delivered in stages as needed.

Frank T. Scobbo  
Vice President  
[www.Scobbo.com](http://www.Scobbo.com)  
[www.Nynjhelix.com](http://www.Nynjhelix.com)  
[www.Helixmarinellc.com](http://www.Helixmarinellc.com)  
[FScontractorsinc@aol.com](mailto:FScontractorsinc@aol.com) or [FSOFNY@AOL.COM](mailto:FSOFNY@AOL.COM)



# *F. Scobbo Contractors, Inc. & Foundation Systems*

Certified N.Y.S. W.B.E.

---

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(516) 944-PIER • F: (516) 944-2522  
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## Staging & Logistics

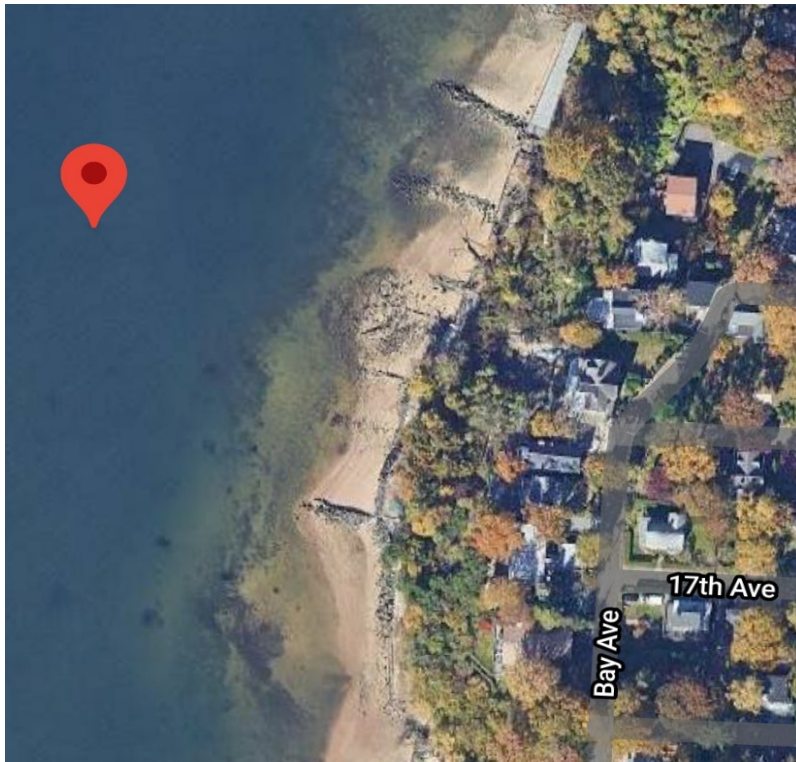
**TO:** Eugene Alletto  
14 Bay Ave, Sea Cliff, NY  
**Date:** Dec 11<sup>th</sup>, 2020

**RE: Staging and logistics plan for**

**Bulkhead sea wall installation**

**Marine Staging:**

1. Marine bulkhead materials will be delivered to site via marine transport.
2. Materials will be loaded up at a local marine terminal and transported to site as needed for installation
3. Barge and related equipment will be staged at installation locations within property zone within 2 hours of high tide. Pin location drop indicates staging area.



- 4.
5. Crew will enter the site from the water side at the appropriate tides.

December 15, 2020

6. Equipment will be walked on to the beach from the shoreline for the tieback construction and landward sheeting wall.
7. The second steel corrugated wall 20ft behind the steel bulkhead seawall will be connected via tie-rods and connected to the bulkhead. These two walls will act as one solid unit and will be installed with equipment and materials transported to the site via tug and barge.
8. If needed, parking at the site will be on 14 Bay ave driveway for 1 commercial vehicle. Crew will walk to the site if needed.
9. Dredge soils will be relocated from the site and replaced back on the hill behind the new sheeting to be installed.
10. Depending on final location of the sheeting bulkhead seawall, additional fill materials may be transported to the site via barge from local marine terminal.
11. Any additional demo or clean up materials will be completed seaward of the site .
12. Materials will be staged on site as needed. Crews will not be on site all days due to tide cycles.

Frank T. Scobbo  
Vice President  
www.Scobbo.com  
[www.Nynjhelix.com](http://www.Nynjhelix.com)  
[www.Helixmarinellc.com](http://www.Helixmarinellc.com)  
[FScontractorsinc@aol.com](mailto:FScontractorsinc@aol.com) or [FSOFNY@AOL.COM](mailto:FSOFNY@AOL.COM)

# MEMO

DENNIS BUCKLEY - CECILIA WHEELER

25 BAY AVENUE

SEA CLIFF

NEW YORK

11579

---

## **Chairman Bruce Treiber and Members of the Planning Board Village of Sea Cliff, New York**

### **Re: 14 Bay Avenue, LLC**

We have been living on Bay Ave. for 23 years, across from 14 Bay Ave, the location of the cliff collapse in 2014.

It's been six years of owner after owner and multiple remediation proposals and we are now, sadly, watching as the latest plan calls for a new house that will totally eliminate our view to the north since the design of the house has moved the footprint substantially to the west.

This has been confirmed by the 14 Bay Avenue project Architect who erected a story pole at 14 Bay Ave and then visited our front porch. Once there, he realized that the house, as designed, would completely block our view of LI Sound and the Westchester shoreline. We are devastated.

We have requested both the owner and the Architect to consider modifications to the design that will allow 25 Bay Ave. to retain the view it has had for over 100 years. The Architect even mentioned the possibility of alternatives to the plan but no such drawing has been forthcoming nor, as far as we can tell, has there been another plan submitted to either the Zoning or the Planning Boards.

The current proposal will have a adverse impact on our enjoyment of our summers spent on our front porch. But more importantly there will be a negative impact on the value of our home. Clearly, in Sea Cliff real estate value is dramatically increased by a water view. After spending 42 years rescuing 2 neglected homes it is such a blow to find that the village might allow a new house to be built that would have such a financial impact on us.

The Sea Cliff Village Code (107-5) reads, "Protection of the character of the neighborhood and prevention of depreciation of adjoining properties". Our property is located 50 feet to the southeast of 14 Bay Ave., and, of the four homes that meet a strict interpretation of "adjoining", our home is even closer to the 14 Bay Ave. property line than the house that is directly across the street. We feel that consideration of the depreciation of our property must be taken into account.

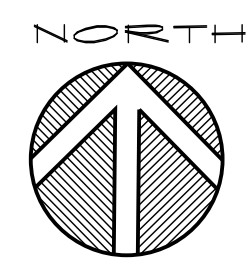
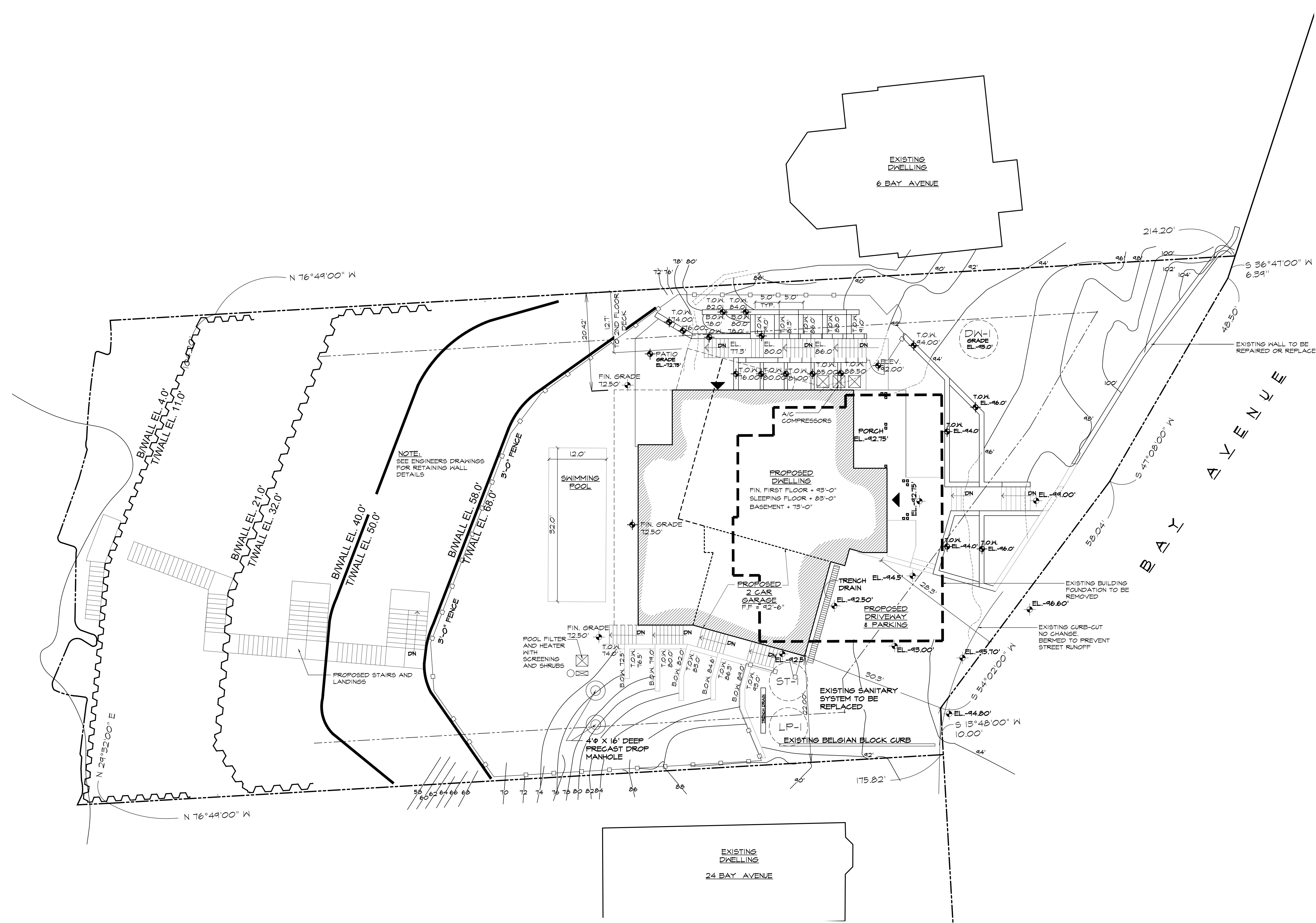
We are asking the Planning Board to require modifications to the proposed design to allow our home to maintain its' view of Long Island Sound and therefore, not suffer a significant reduction in value.

Thank you for your time and consideration,

Cecilia Wheeler  
Dennis Buckley



516-676-3841



SITE PLAN

SCALE: 1"=10'

JAMES T. CARBALLAL  
ARCHITECT  
TELEPHONE: 516.674.3936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:  
4-1-21

DRAWN BY:  
JTC

REVISIONS:


DRAWING:  
SITE PLAN

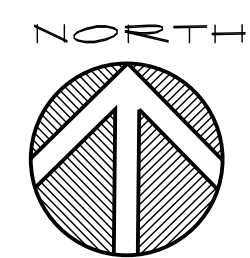
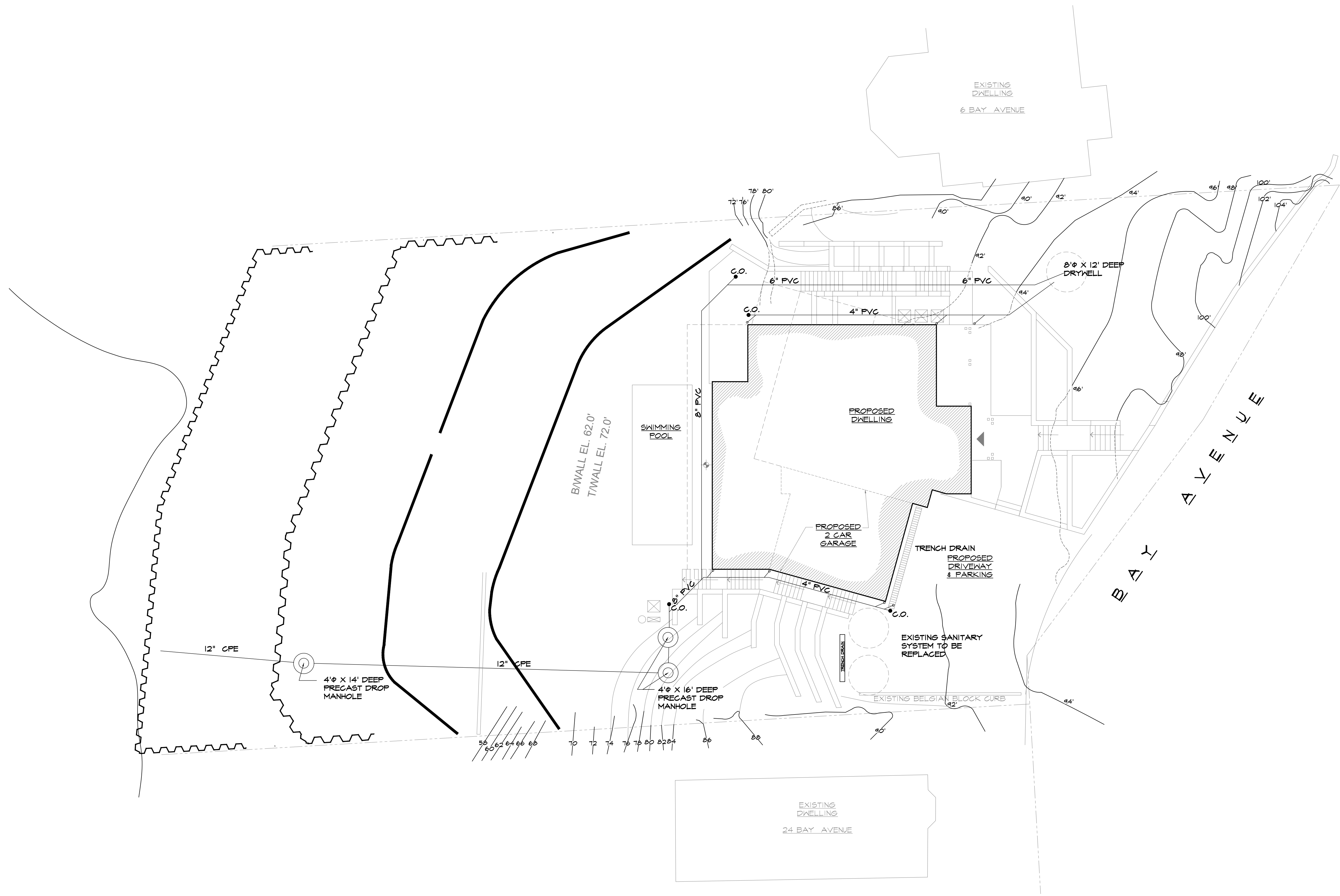
FOR PLANNING BOARD REVIEW 4-1-21

14 BAY AVENUE RESIDENCE

14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.  
50-1





**DRAINAGE PLAN**

SCALE: 1"=10'

**JAMES T. CARBALLAL  
ARCHITECT**  
TELEPHONE: 516.674.3936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:  
4-1-21

DRAWN BY:  
JTC

REVISIONS:


DRAWING:  
**DRAINAGE  
PLAN**

**14 BAY AVENUE RESIDENCE**  
14 BAY AVENUE, SEA CLIFF, NY 11579

FOR PLANNING BOARD REVIEW 4-1-21  
DWG. NO.  
**D-1**



**SWIMMING POOL ENCLOSURE NOTES**

- 1.- POOL ENCLOSURE SHALL COMPLETELY SURROUND THE SWIMMING POOL AND OBSTRUCT ACCESS TO THE SWIMMING POOL..
- 2.- THE BARRIER MUST BE AT LEAST FOUR FEET HIGH.
- 3.- THE BARRIER MATERIALS, AND CONSTRUCTION MUST COMPLY WITH ALL ASPECTS OF THE "2011 UNIFORM CODE - REQUIREMENTS FOR SWIMMING POOLS"
- 4.- ALL GATES MUST BE SELF CLOSING AND IF INTENDED FOR PEDESTRIAN ACCESS THEY MUST BE "OUT SWINGING"
- 5.- ALL GATES MUST BE SELF CLOSING AND LATCHING AS PER THE 2011 UNIFORM CODE SPECIFICATIONS.
- 6.- ALL DOORS WITH DIRECT ACCESS TO THE POOL MUST BE EQUIPPED WITH AN ALARM, OR OTHER MEANS OF PROTECTION SUCH AS SELF CLOSING DOORS WITH "APPROVED" SELF LATCHING DEVICES, PER THE 2011 UNIFORM CODE.

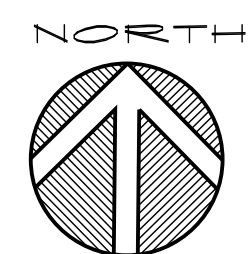
**SYMBOL - PLANT LIST**

- SIZE EXISTING TREE TO REMAIN
- SIZE EXISTING TREE TO BE REMOVED
- PROPOSED 4' HIGH POOL FENCE
- ⊗ BEACH ROSE - CAROLINA ROSE
- ⊙ WINTER HOLLY SHRUB
- ⊕ TR-COLOR WILLOW SHRUB

**LIGHTING FIXTURE TYPES**

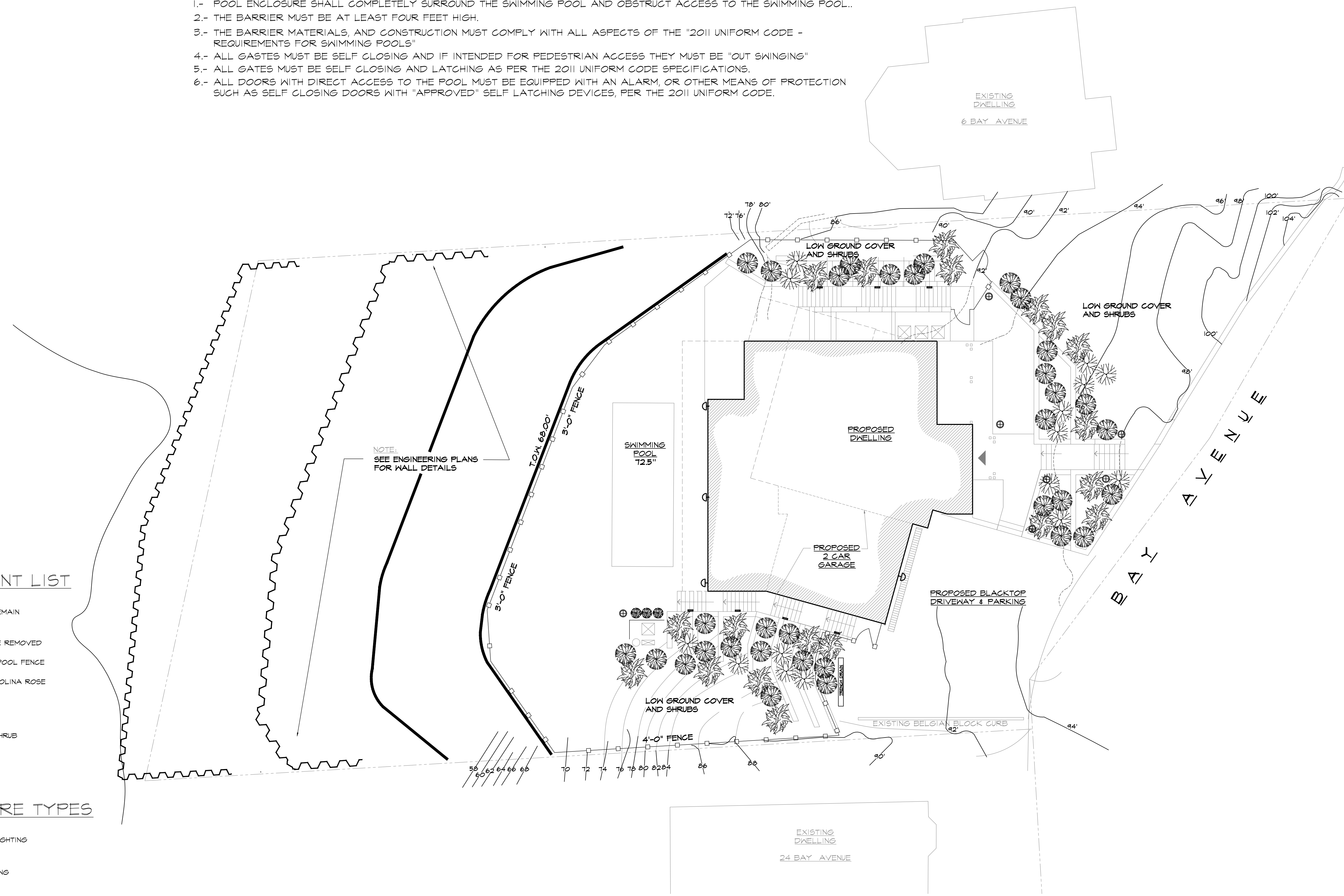
- ⊕ LANDSCAPE PATH LIGHTING
- ⊔ WALL MOUNTED DIRECTIONAL LIGHTING
- ▬ STEP LIGHTING

NOTE:  
ALL OUTDOOR LIGHTINGS WILL BE DIRECTED AWAY FROM NEIGHBORING PROPERTIES



**LANDSCAPING PLAN**

SCALE: 1"=10'



**JAMES T. CARBALLAL**  
ARCHITECT  
TELEPHONE: 516.674.3936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:  
4-1-21

DRAWN BY:  
JTC

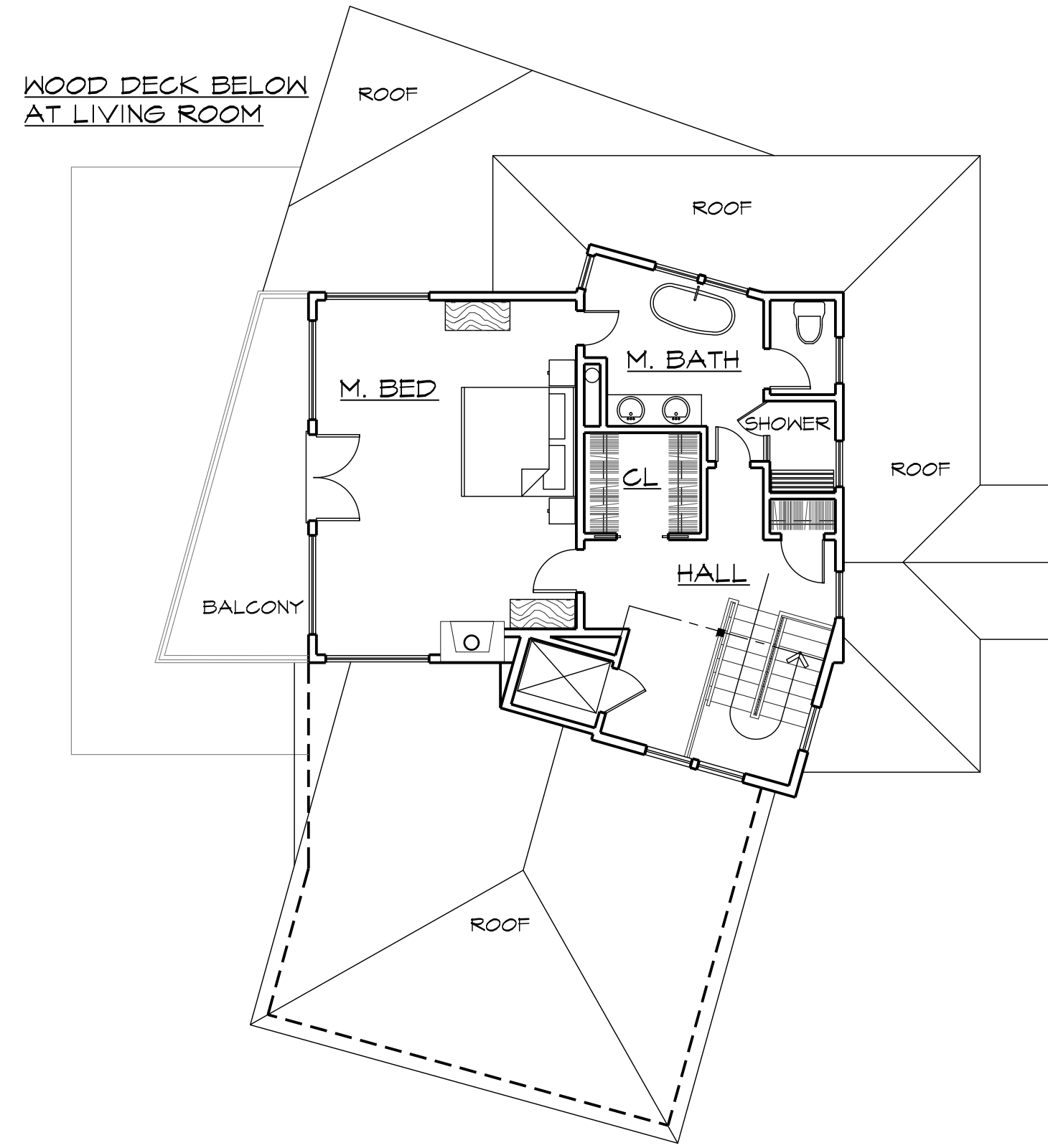
REVISIONS:


DRAWING:  
**LAND-SCAPE & LIGHTING PLAN**

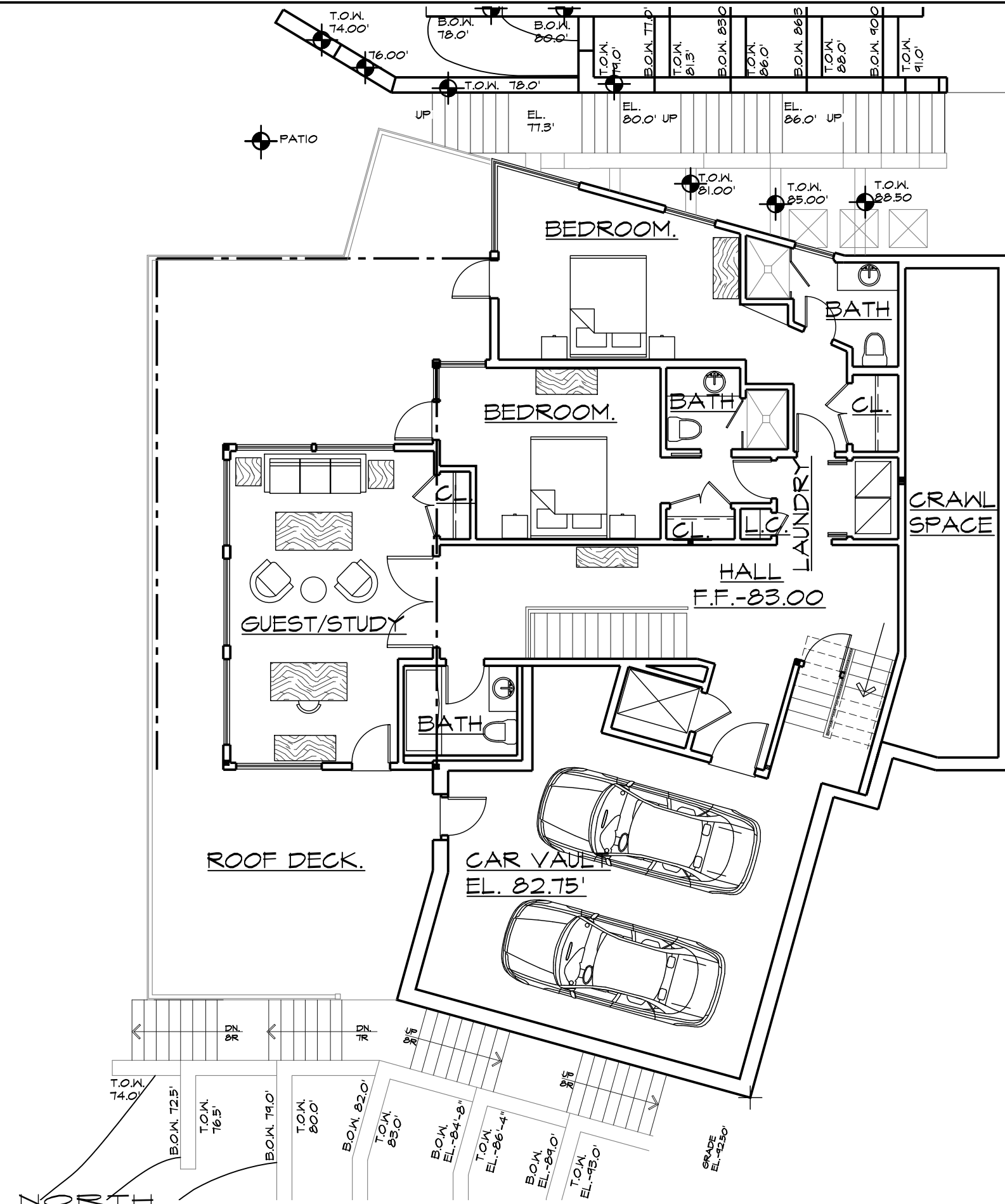
**14 BAY AVENUE RESIDENCE**  
14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.  
11

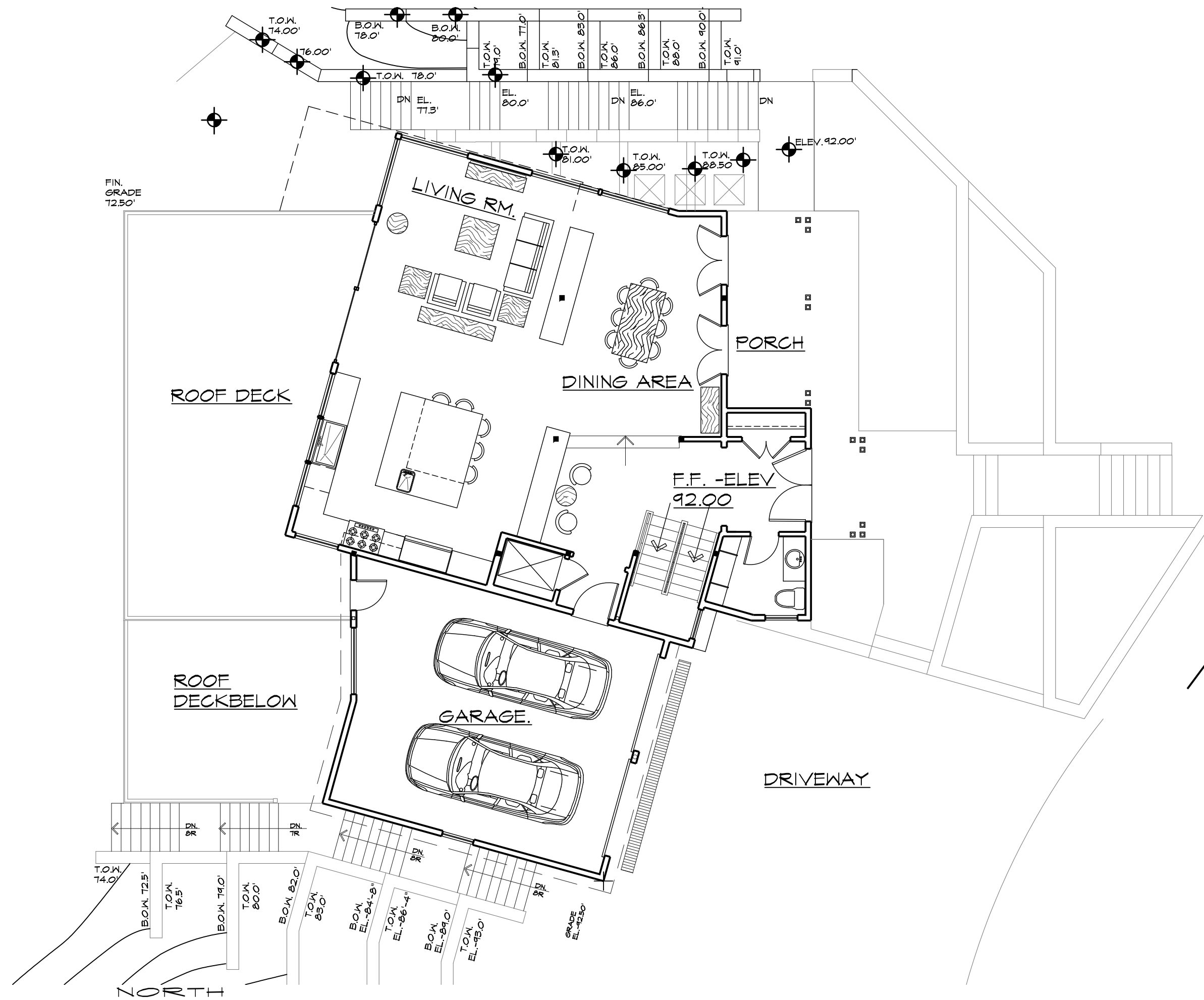
FOR PLANNING BOARD REVIEW 4-1-21



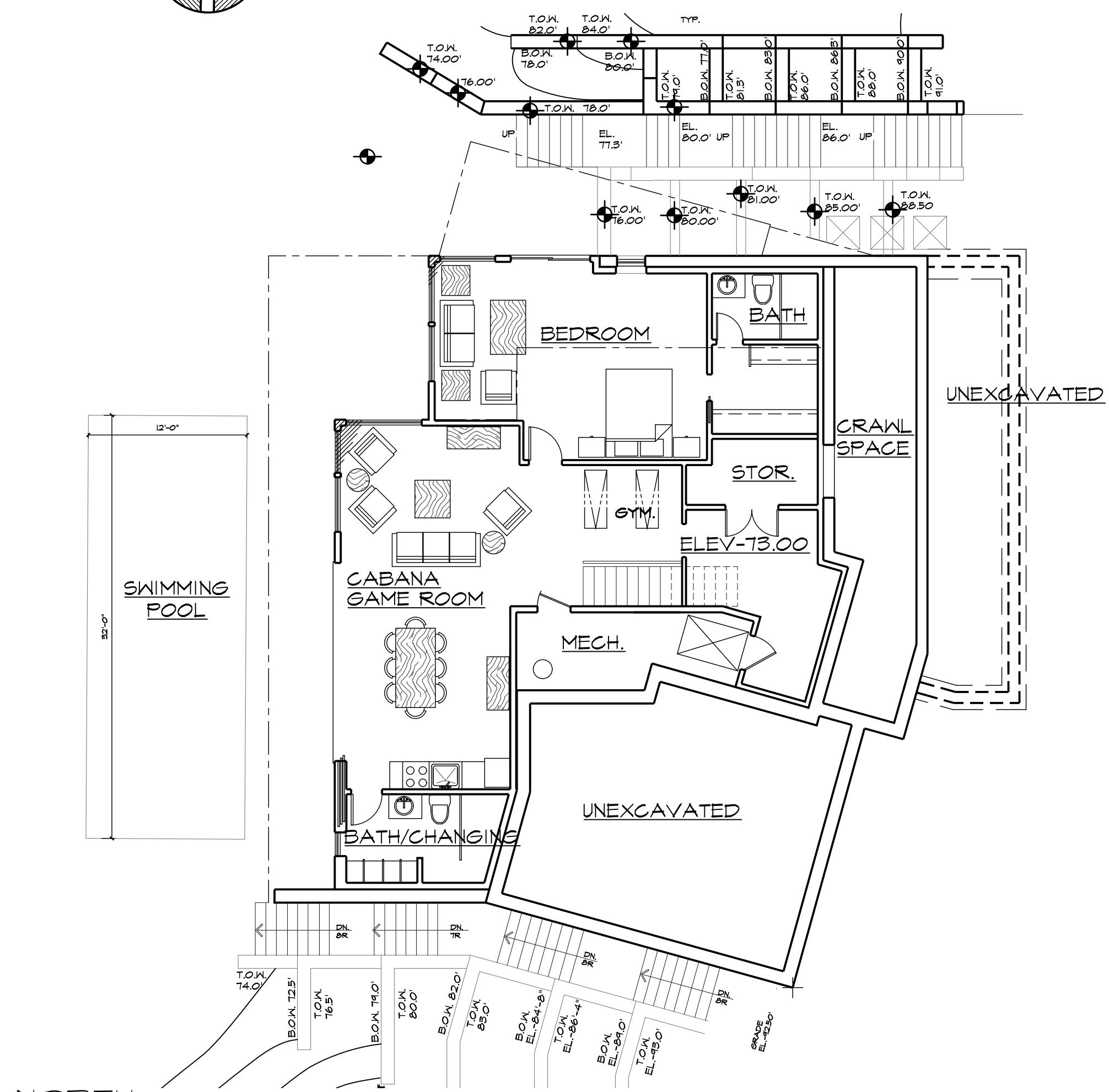
**ATTIC FLOOR PLAN (MASTER)**  
SCALE: 1/8"=1'-0"



**FIRST FLOOR PLAN (SLEEPING)**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN (LIVING)**  
SCALE: 1/8"=1'-0"



**BASEMENT PLAN**  
SCALE: 1/8"=1'-0"

**JAMES T. CARBALLAL**  
ARCHITECT  
TELEPHONE: 516.674.3936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:  
4-1-21

DRAWN BY:  
JTC

REVISIONS:


DRAWING:  
**FLOOR PLANS**

**14 BAY AVENUE RESIDENCE**  
14 BAY AVENUE, SEA CLIFF, NY 11579

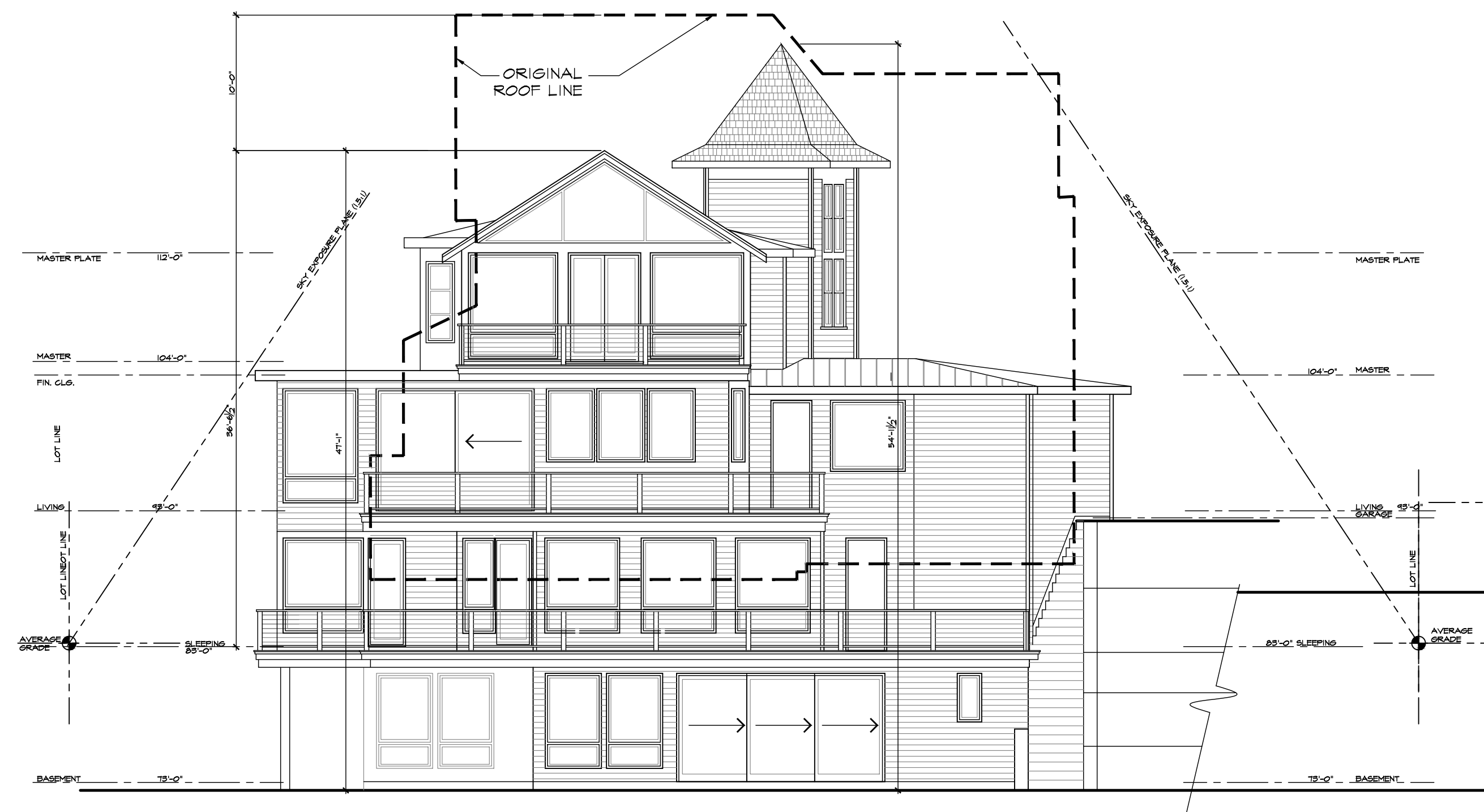
DWG. NO.  
**A-1**

FOR PLANNING BOARD REVIEW 4-1-21



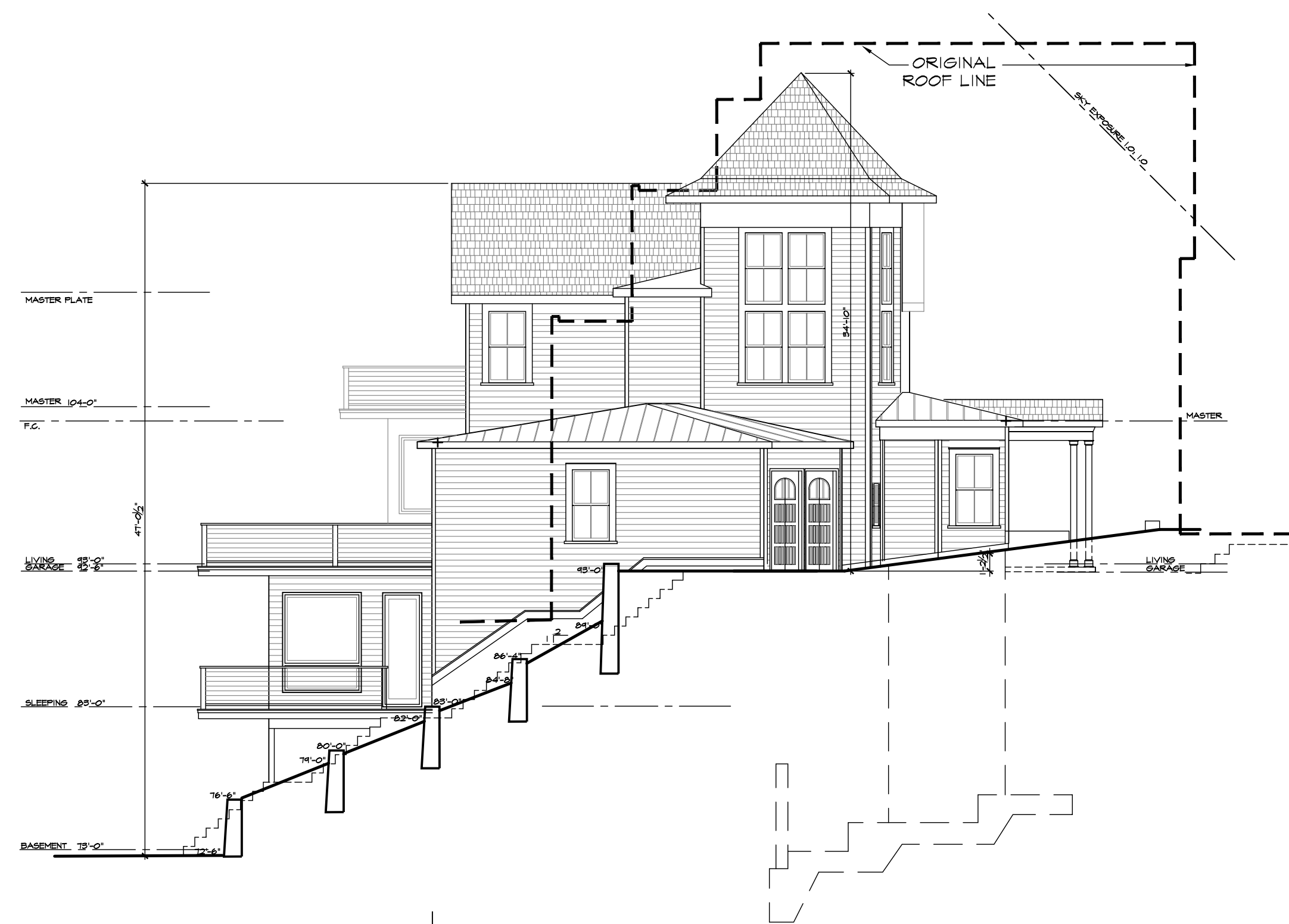
RIGHT SIDE ELEV.

SCALE: 1/8"=1'-0"



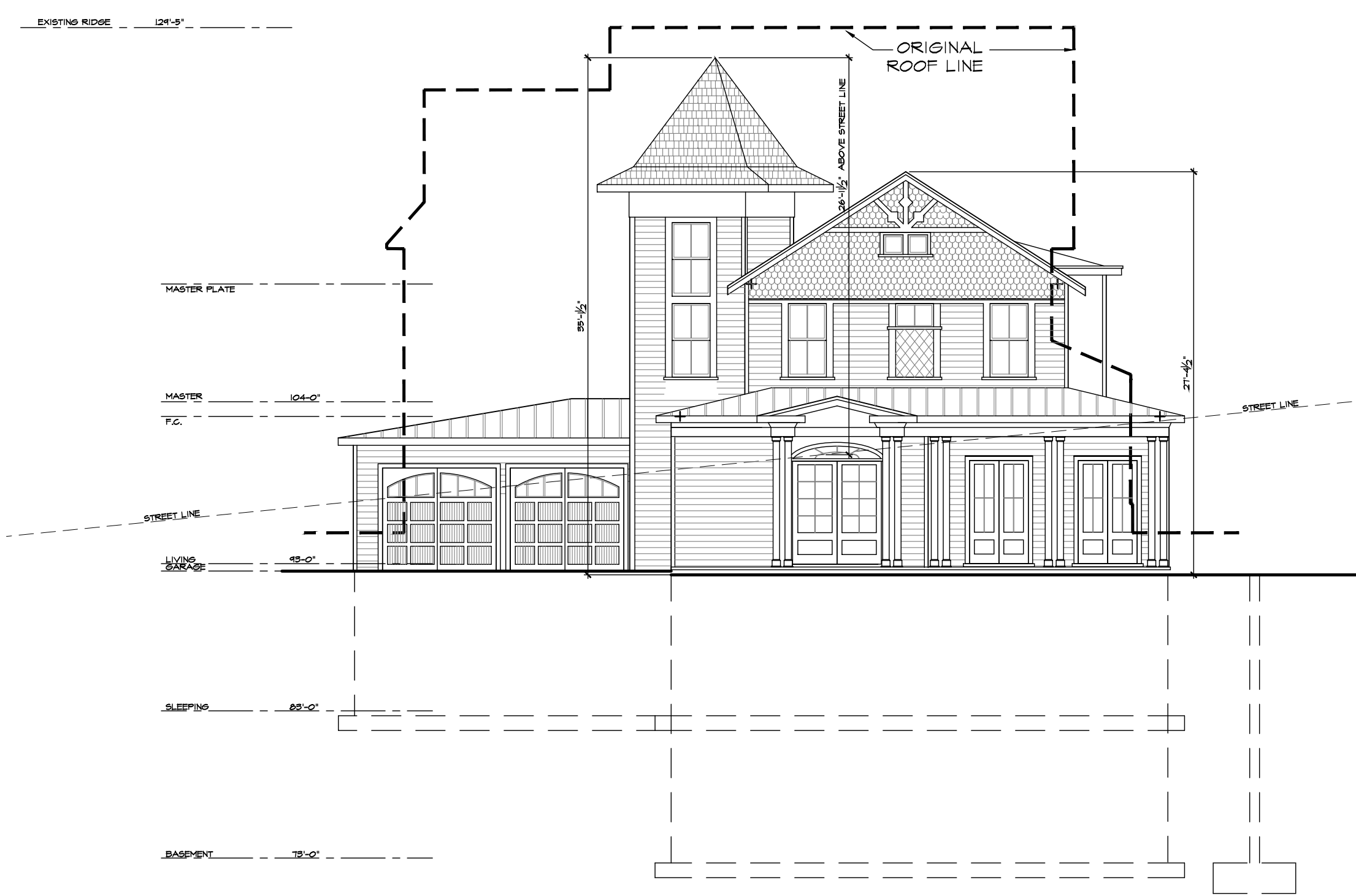
REAR ELEV.

SCALE: 1/8"=1'-0"



LEFT SIDE ELEV.

SCALE: 1/8"=1'-0"



FRONT ELEV.

SCALE: 1/8"=1'-0"

JAMES T. CARBALLAL  
ARCHITECT

TELEPHONE: 516.674.9936  
80 LAFAYETTE AVE., SEA CLIFF, N. Y. 11579

SCALE:  
AS NOTED

DATE:  
4-1-21

DRAWN BY:  
JTC

REVISIONS:

DRAWING:

ELEV'S.

14 BAY AVENUE RESIDENCE

14 BAY AVENUE, SEA CLIFF, NY 11579

DWG. NO.

A-2

FOR PLANNING BOARD REVIEW 4-1-21







CONSULTANTS:

PROJECT:

ALLETTO PROPERTY  
 14 BAY AVENUE  
 SEA CLIFF, NY

NEW RETAINING WALLS

DATE	REVISION	BY
04/02/2021	REVISED FOR VILLAGE SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

NOTE:  
 Under N.Y.S. Education Law Sec. 7200 Sub 2, it is illegal for any person, unless acting under the direction of a LICENSED Professional Engineer, to alter any item on this material in any way. If any item is so altered, the Professional Engineer who so alters or who directs another to so alter, shall affix to the items his seal and the notation "altered by" followed by his signature, the date of the alteration and a specific description of the alteration.

TITLE:

EXISTING CONDITIONS & REMOVALS PLAN

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER
KHD	CGC	KHD	C-1
SCALE:	DATE:	PROJECT NO:	
1" = 10'	03/2019	19011	



LEGEND

- 20' EXISTING MAJOR CONTOUR
- 20' EXISTING MINOR CONTOUR
- PROPERTY LINE
- EXTENT OF EXISTING HOUSE
- EXISTING DEBRIS

C:\Users\chris\OneDrive\Documents\Projects\Engineering\19011\_BayAve\_Retaining\_Wall\Drawings\19011\_BayAve\_Retaining\_Wall\19011\_Existing\_Conditions.dwg (C-1) Cutting Last Modified: Apr 01, 2021 Plotted by: rch



CONSULTANTS:

PROJECT:

ALLETTO PROPERTY  
 14 BAY AVENUE  
 SEA CLIFF, NY

NEW RETAINING WALLS

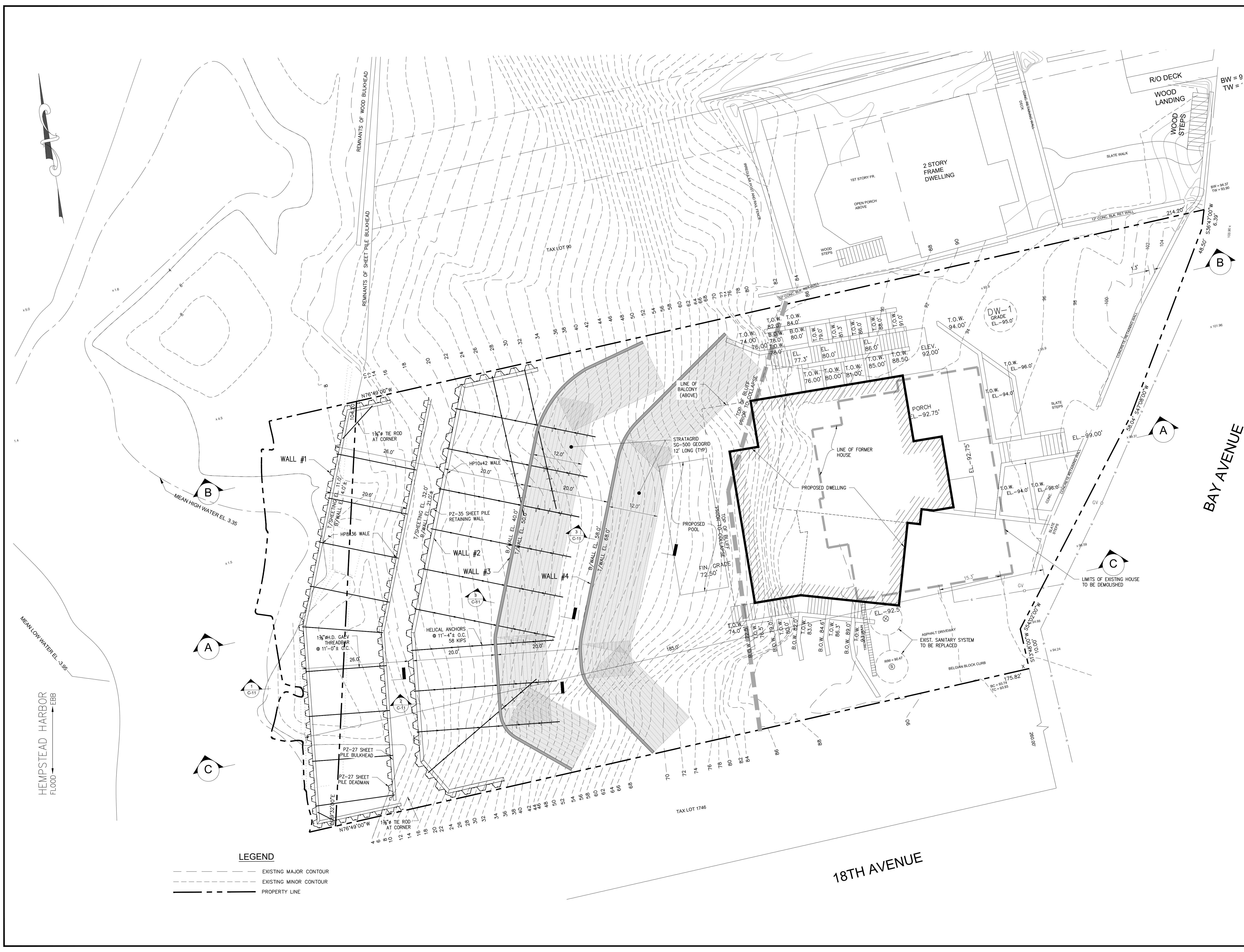
DATE	REVISION	BY
04/02/2021	REVISED FOR VILLAGE SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
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08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

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TITLE:

RETAINING WALL PLAN

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER
KHD	CGC	KHD	C-2
SCALE:	DATE:	PROJECT NO:	
1"=10'	03/2019	19011	



LEGEND

- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- — — — — PROPERTY LINE

HEMPSTEAD HARBOR  
 FLOOD  
 EBB

MEAN HIGH WATER EL. 3.35

MEAN LOW WATER EL. -3.85

18TH AVENUE

BAY AVENUE

A

C

B

B

A

C

BW = 9  
 TW = 1

BW = 94.57  
 TW = 93.90

214.20'

48.50'

S 36° 47' 00" W  
 6.39'

103.89'

101.96'

T.O.W. EL. -96.0'

T.O.W. EL. -94.0'

T.O.W. EL. -92.75'

T.O.W. EL. -94.0'

T.O.W. EL. -96.0'

T.O.W. EL. -94.0'

T.O.W. EL. -96.0'

T.O.W. EL. -94.0'

T.O.W. EL. -92.5'

T.O.W. EL. -94.0'

T.O.W. EL. -92.0'

T.O.W. EL. -94.0'

T.O.W. EL. -92.0'

T.O.W. EL. -94.0'

T.O.W. EL. -92.0'

T.O.W. EL. -94.0'

T.O.W. EL. -92.0'

T.O.W. EL. -94.0'

T.O.W. EL. -92.0'

T.O.W. EL. -94.0'

T.O.W. EL. -92.0'







CONSULTANTS:

PROJECT:

ALLETTO PROPERTY  
 14 BAY AVENUE  
 SEA CLIFF, NY

NEW RETAINING WALLS

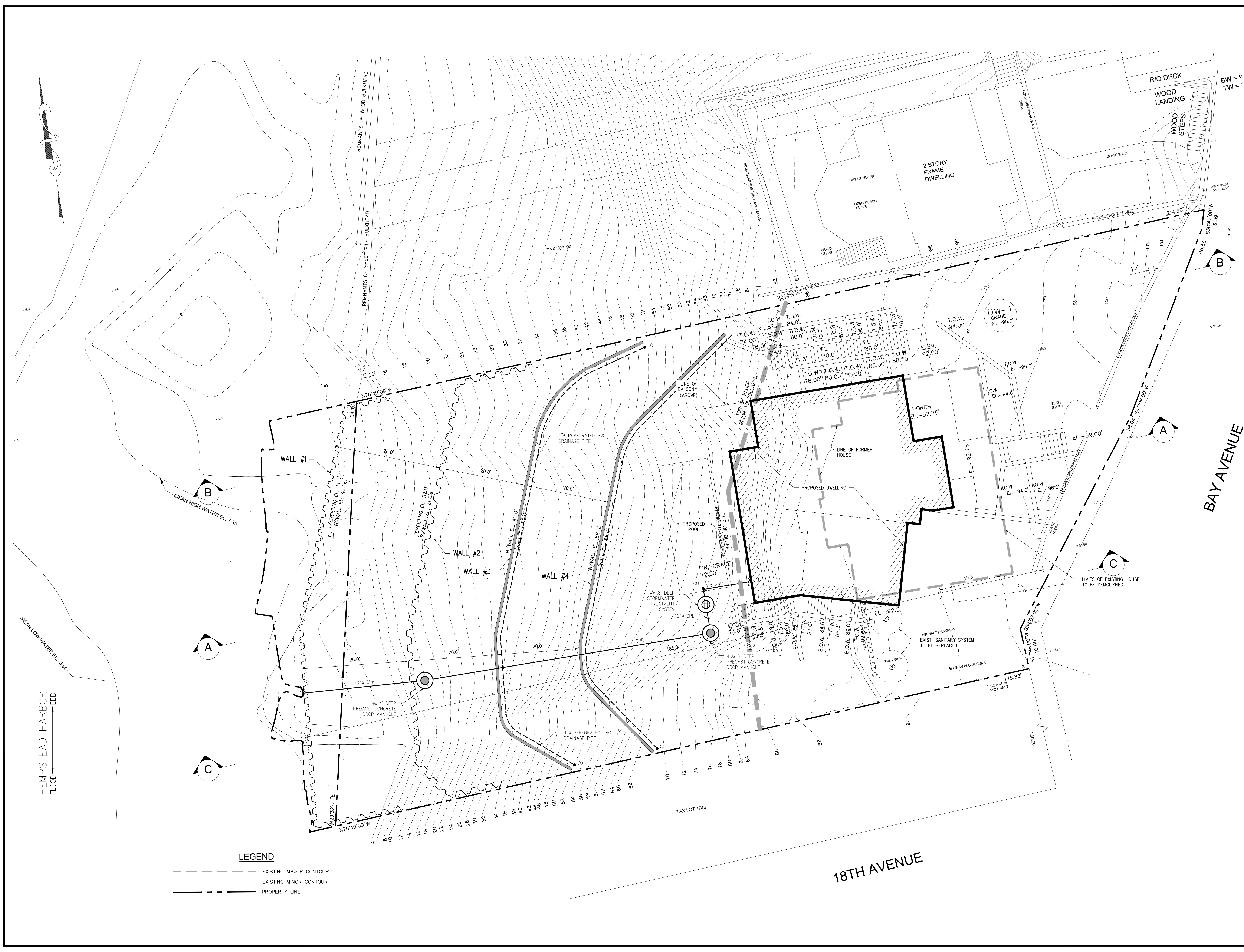
DATE	REVISION	BY
04/02/2021	REVISED FOR VILLAGE SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
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TITLE:

ROOF DRAIN PLAN

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER
KHD	CGG	KHD	C-4
SCALE:	DATE:	PROJECT NO:	
1"=10'	03/2019	19011	



LEGEND

- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- — — — — PROPERTY LINE

HEMPSTEAD HARBOR  
 FLOOD  
 EBB

18TH AVENUE

BAY AVENUE

A

C

B

A

C

BW = 9  
 TW = 1

BW = 94.57  
 TW = 93.90

S36°47'00"W  
 6.39'

48.50'

103.89'

101.86'

102.80'

N76°49'00"W

102.80'

26.0'

20.0'

20.0'

20.0'

20.0'

20.0'

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20.0'









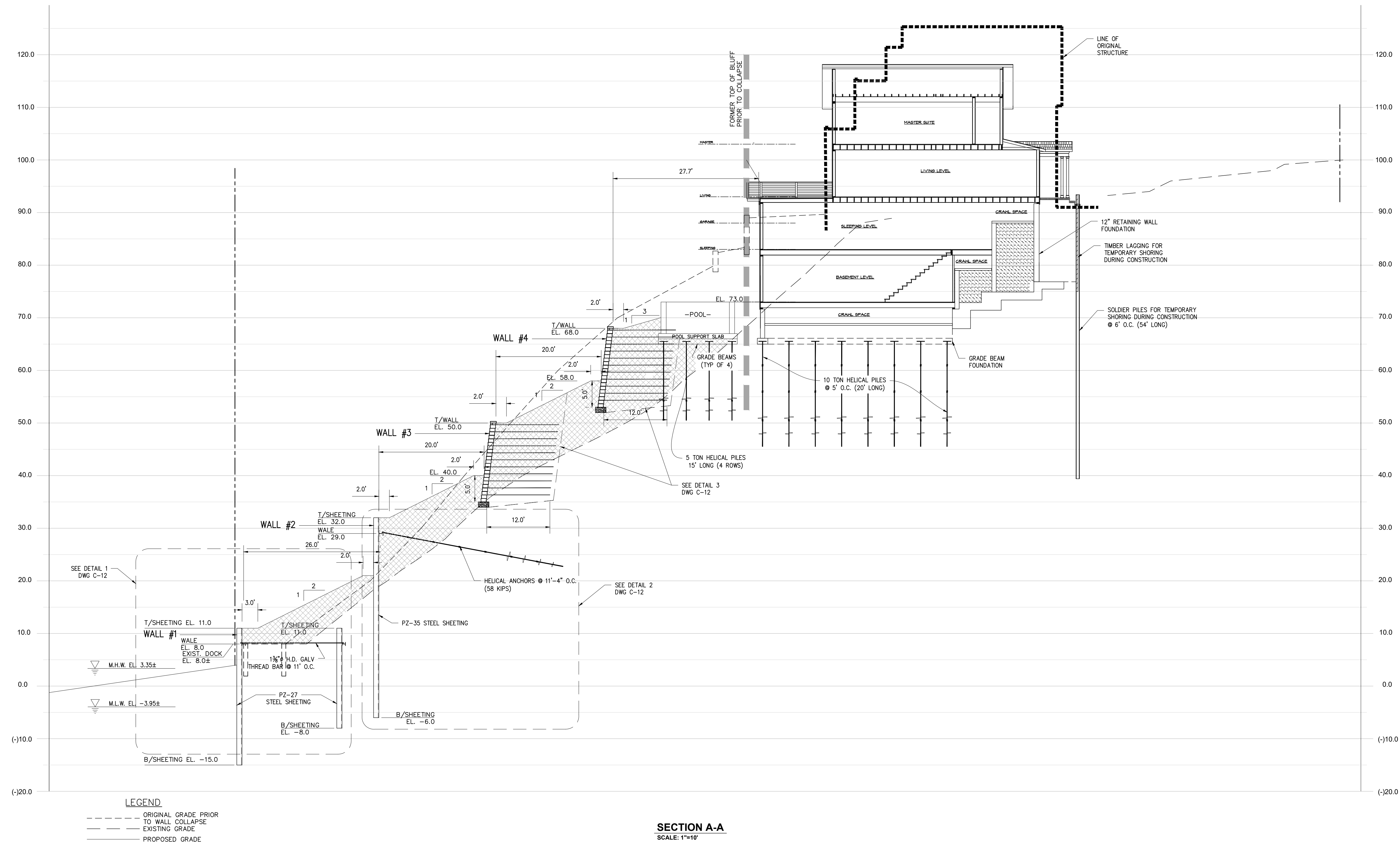


CONSULTANTS:

PROJECT:

ALLETTO PROPERTY  
 14 BAY AVENUE  
 SEA CLIFF, NY

NEW RETAINING WALLS



**LEGEND**  
 - - - ORIGINAL GRADE PRIOR TO WALL COLLAPSE  
 - - - EXISTING GRADE  
 ——— PROPOSED GRADE

**SECTION A-A**  
 SCALE: 1"=10'

DATE	REVISION	BY
04/02/2021	REVISED FOR VILLAGE SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

NOTE:  
 Under N.Y.S. Education Law Sec. 7209 Sub. 2, it is illegal for any person, unless acting under the direction of a LICENSED Professional Engineer, to alter any item on this material in any way. If any item is so altered, the Professional Engineer who so alters or who directs another to so alter, shall affix to the items his seal and the notation "altered by" followed by his signature, the date of the alteration and a specific description of the alteration.

TITLE:

**SECTION A-A**

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER
KHD	CGC	KHD	C-8
SCALE:	DATE:	PROJECT NO:	
1" = 10'	03/2019	19011	

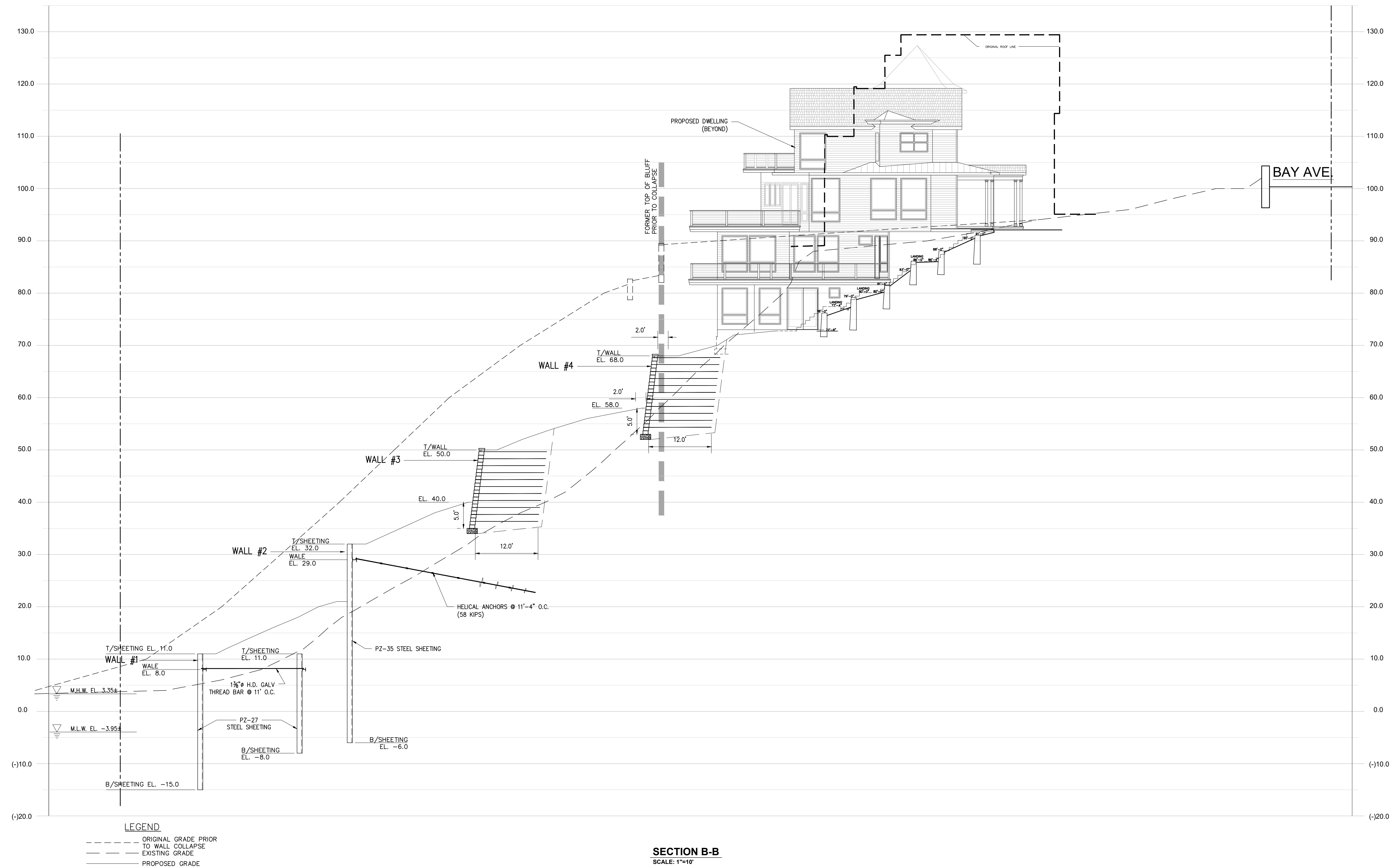
C:\Users\chris.000\OneDrive\Documents\Projects\Engineering\19011 Bay Ave Retaining Wall\Drawings\19011 Bay Ave Retaining Wall-C-8 SW Project\_A1.dwg Modified: Apr 02, 2021 Plotted by: khd

CONSULTANTS:

PROJECT:

ALLETTO PROPERTY  
 14 BAY AVENUE  
 SEA CLIFF, NY

NEW RETAINING WALLS



DATE	REVISION	BY
04/02/2021	REVISED FOR VILLAGE SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

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TITLE:			
<b>SECTION B-B</b>			
DESIGNED BY: KHD	DRAFTED BY: CGC	CHECKED BY: KHD	SHEET NUMBER
SCALE: 1" = 10'	DATE: 03/2019	PROJECT NO: 19011	<b>C-9</b>

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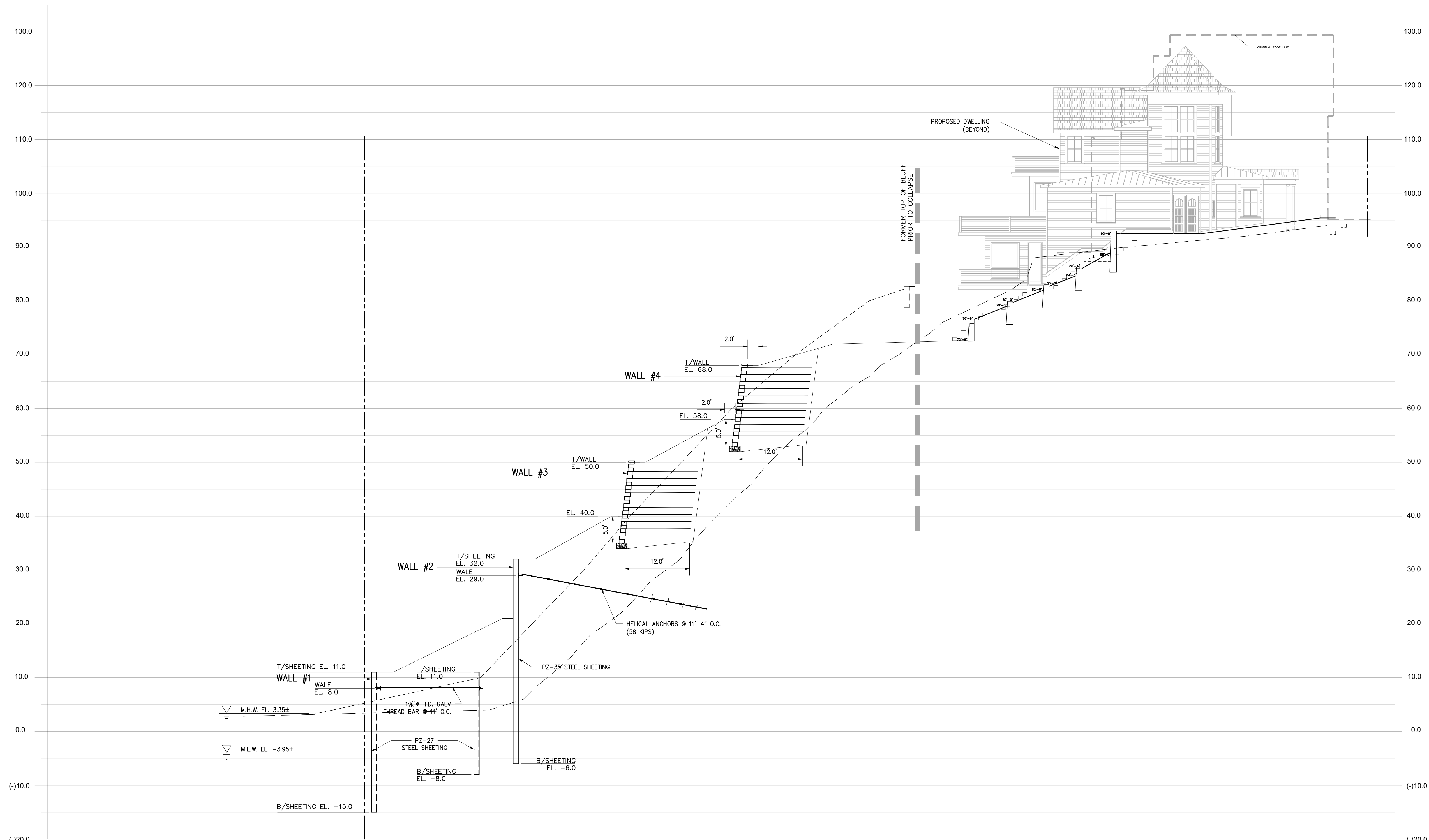


CONSULTANTS:

PROJECT:

ALLETTO PROPERTY  
 14 BAY AVENUE  
 SEA CLIFF, NY

NEW RETAINING WALLS



**LEGEND**  
 - - - ORIGINAL GRADE PRIOR TO WALL COLLAPSE  
 - - - EXISTING GRADE  
 ——— PROPOSED GRADE

**SECTION C-C**  
 SCALE: 1"=10'

DATE	REVISION	BY
04/02/2021	REVISED FOR VILLAGE SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

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**TITLE:**

**SECTION C-C**

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER
KHD	CGC	KHD	C-10
SCALE:	DATE:	PROJECT NO:	
1" = 10'	03/2019	19011	

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CONSULTANTS:

PROJECT:

ALLETTO PROPERTY  
 14 BAY AVENUE  
 SEA CLIFF, NY

NEW RETAINING WALLS

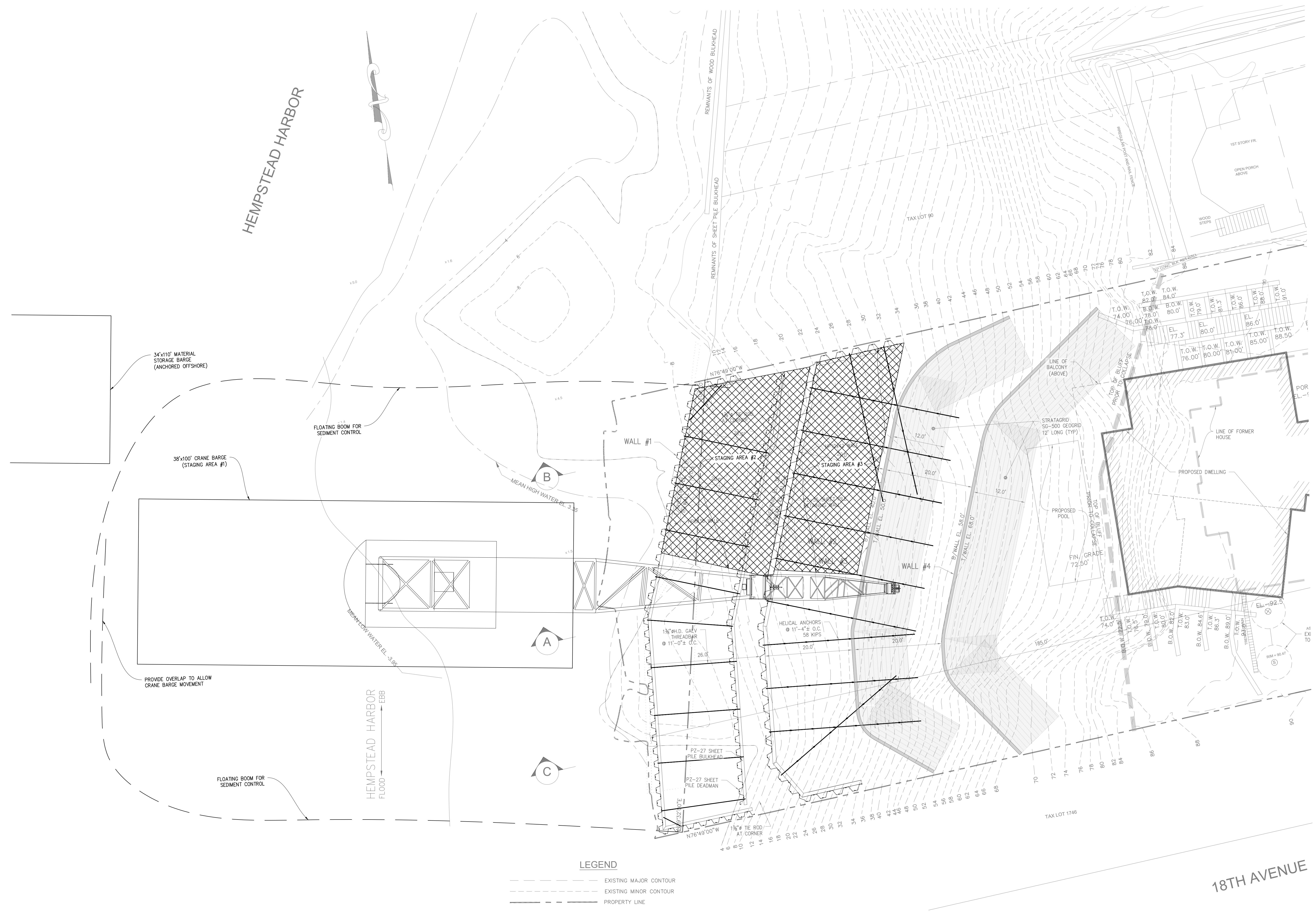
DATE	REVISION	BY
04/02/2021	REVISED FOR VILLAGE SUBMITTAL	KHD
03/25/2021	REVISED FOUNDATION PLAN	KHD
01/15/2021	REVISED AS PER NYSDEC	KHD
11/02/2020	REVISED AS PER NYSDEC	KHD
08/18/2020	REVISED WALL LOCATIONS	KHD
07/02/2018	REVISED AS PER NYSDEC	KHD

NOTE:  
 Under N.Y.S. Education Law Sec. 7200 Sub 2, it is illegal for any person, unless acting under the direction of a LICENSED Professional Engineer, to alter any item on this material in any way. If any item is so altered, the Professional Engineer who so alters or who directs another to so alter, shall affix to the items his seal and the notation "altered by" followed by his signature, the date of the alteration and a specific description of the alteration.

TITLE:

**SITE ACCESS, MATERIAL STAGING, AND SEDIMENT CONTROL PLAN**

DESIGNED BY:	DRAFTED BY:	CHECKED BY:	SHEET NUMBER
KHD	CGC	KHD	C-13
SCALE:	DATE:	PROJECT NO.:	
1"=10'	03/2019	19011	



LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE

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# Construction sequencing and staging details

## 14 Bay Avenue

### Sea Cliff, New York

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Version 1.0  
4-2-21

James Carballal Architects P.C.  
James Carballal

80 Lafayette Avenue  
Sea Cliff, NY 11579  
516.674.3936

Dietrich Engineering, P.C.  
Kirk Dietrich

344 Lenox Road  
Huntington Station, NY 11746  
631.427.5540

---

## General project description

Demolish existing wood frame residence and construct a new wood frame residence with parking areas and retaining walls.

The initial stages of the project - excavation, bulkheading will take place from the water. Staging for the "primary retaining wall" construction will be determined by the tooling and ability of the contractor.

The intention is to retain, and protect the adjacent properties prior to the foundation excavation and construction. The details are included in this proposal.

\*A reasonable effort will be made to limit construction traffic and parking on a daily bases.

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## Sequence of events

1. Bulkhead and seawall installation - Wall #1 Dietrich plans
  - Clear debris field at and below high-water line
  - Marine staging per "staging and logistics plan" dated 4-2-21 attached, and Dietrich engineering plans dated 4-2-21
  - Implementation of protocols (see Dietrich specifications) - Site safety (& notification protocols), third party adjacent property inspections, reports, and photographs, vibration monitoring and notification protocols, and third-party special inspections; helical pile tie back anchor testing, soil compaction.
2. Prepare inland site for demolition and construction:
  - Install construction fencing and gates at street property line and adjacent properties per attached fence plan.
  - Obtain Board of Health sign off letter, demolition permit, and service disconnects from utilities.
  - Demolish remaining wood frame portion of the existing building (from Bay Avenue) portions of existing foundation to remain until "primary retaining walls" and "support of excavation" walls are installed.
  - On-site storm drainage will be monitored and managed throughout project. See Dietrich plans Dwg. C-5
  - Foundation footprint will be used for staging and laydown.
3. "Staging and logistics" Retaining walls inland dated 4-2-21
4. Install primary retaining walls.
  - Wall #2 Sheet pile wall. (see details Dietrich plans)
  - Walls #3&4 Modular block walls (see details Dietrich plans)
  - Permanent drainage piping, clean-outs and filters will be installed as the excavation/retention moves inland.

5. Demolish existing foundation and excavate for new foundation (from Bay Avenue)
  - Excavate property for house foundation, adjacent retaining walls, and parking - to be done from Bay Avenue.
  - Provide silt fencing and hay bales as required to contain disturbed soil
  - Excavate and install house drainage system catch basins, drywells and septic system.
  - Form and pour foundation and retaining wall footings
  - Form and pour foundation walls
  - Install damp proofing and site drainage
  - Backfill foundation and retaining walls
6. House construction:
  - Framing, window installation, roofing, siding, trim, interior finish work to be staged from Bay Avenue.
  - An effort will be made to stagger work schedules for various trades to alleviate parking, staging and access issues.

---

## Attachments:

- Staging and Logistics "Bulkhead and seawall"
- Staging and Logistics "Retaining walls inland"
- Dietrich engineering plans and details
- Carballal architectural plans and details

---

## Notes:

1. The intention is to limit, to what extent is practical, road closings and congestion.
2. The anticipated start date for the project is mid-May 2021.
3. We are hopeful the excavation thru foundation and retaining walls construction can be completed by approximately mid-September 2021 (4-months).
4. We would expect to start framing in mid-September and be substantially complete by late December.
5. Finish work on the interior will start in December with a completion date scheduled for summer 2022



# Staging & Logistics

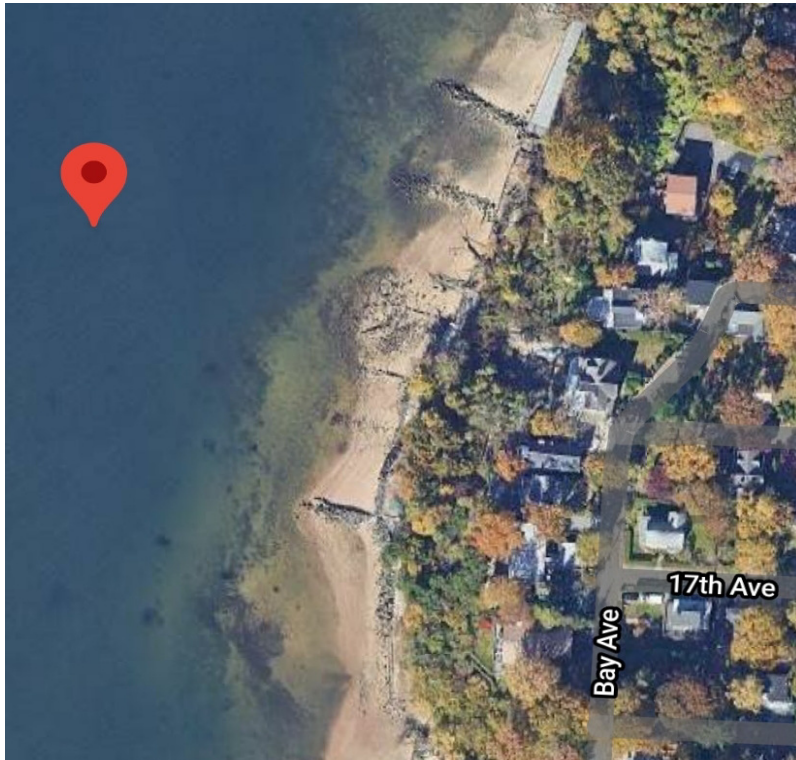
**Date:** April 2nd, 2021

**RE: Staging and logistics plan for**

**Bulkhead sea wall installation**

## Marine Staging:

1. Marine bulkhead materials will be delivered to site via marine transport.
2. Materials will be loaded up at a local marine terminal and transported to site as needed for installation.
3. Barge and related equipment will be staged at installation locations within property zone within 2 hours of high tide. Pin location drop indicates staging area.



- 4.
5. Crew will enter the site from the water side at the appropriate tides.
6. Equipment will be walked on to the beach from the shoreline for the tieback construction and landward sheeting wall.

April 2, 2021

7. The second steel corrugated wall 20ft behind the steel bulkhead seawall will be connected via tie=rods and connected to the bulkhead. These two walls will act as one solid unit and will be installed with equipment and materials transported to the site via tug and barge.
8. If needed, parking at the site will be on 14 Bay ave driveway for 1 commercial vehicle. Crew will walk to the site if needed.
9. Dredge soils will be relocated from the site and replaced back on the hill behind the new sheeting to be installed.
10. Depending on final location of the sheeting bulkhead seawall, additional fill materials may be transported to the site via barge from local marine terminal.
11. Any additional demo or clean up materials will be completed seaward of the site .
12. Materials will be staged on site as needed. Crews will not be on site all days due to tide cycles.



# Staging & Logistics

**Date:** April 2<sup>nd</sup>, 2021

**RE: Staging and logistics plan for**

**Retaining walls inland – means and methods.**

## Logistics & Staging:

1. All demo of existing house to be completed prior to starting upland work.
2. Retaining wall materials to be staged on site in small quantities due to limited access and available laydown area storage.
3. Owner to obtain parking permit to use temporary parking – consisting of two (2) parking spots in front of 14 Bay Ave.
4. Existing driveway to be utilized first for parking and staging, additional parking if needed will be on Bay Ave- pictured here are the parking spots to be utilized if needed for parking and unloading



5.



6. Deliveries will be guided down 16<sup>th</sup> Ave. Mostly straight trucks and smaller trailers only.
7. Flagman will be utilized for off loading operations and traffic safety.
8. During off loading of SOE equipment and materials, materials will be backed down 16<sup>th</sup> Ave and unloaded at intersection.
9. All concrete trucks will be backed down 16<sup>th</sup> Ave.
10. During days of concrete pumping, flagman will be placed at W15th Ave and 16<sup>th</sup> Ave for traffic control.
11. BAY AVE at intersection of 16<sup>th</sup> Ave. will need to be closed temporarily when pumping concrete



12. Trucks will be staged on Prospect Ave as needed to unload equipment and materials ( steel, concrete, etc)



- 13.
14. A standard size 22 meter concrete boom pump will be used on the days required to pour concrete foundations- Due to the size of the boom pump and limited access, site vehicles will be staged on Prospect Ave and 16<sup>th</sup> Ave. as needed.



15.

16. If needed, our company ATV will be used to transport crew and small tools to and from company vehicles parked on Prospect Ave to Bay Ave in an effort to reduce over crowding.



- 17.
18. Any flagman will be equipped with two-way radios to communicate to each other and foreman on site.
19. The Sea-Cliff Fire Dept and NCPD 6<sup>th</sup> Pct. will be notified of any temporary closures during unloading, loading and concrete pumping operations.
20. Once the existing house is demolished, that footprint will be used for staging and laydown as needed.
21. Retaining walls will be constructed first prior to concrete foundation pouring.
22. A second steel bulkhead retaining wall is to be constructed at EL 21.00.
23. The First concrete block retaining wall to be constructed started at EL. 40.0. Materials to be delivered in stages as needed.

**SPECIFICATIONS FOR BUILDING CONDITION SURVEY AND PILE DRIVING**  
**VIBRATION MONITORING**

**1.0 DESCRIPTION**

- A. **Building Condition Survey** – This work shall consist of performing building and property condition surveys for adjacent surrounding properties to the project site, and creating permanent records of existing conditions prior to the start of the work, after completion of the work and at locations and times during the construction as directed by the responsible Engineer.
- B. **Vibration Monitoring** – This work shall consist of performing vibration monitoring of background and construction activities for the duration of the pile driving operations, and preparing daily and summary reports of vibration readings.

**2.0 MATERIALS**

- A. **Building Condition Survey** – Provide general photography and video equipment , in digital format, capable of superimposing the date and time on all images.
- B. **Vibration Monitoring** – Provide a 3-component seismograph, capable of measuring particle velocity data in three mutually perpendicular (3-axis) directions. Annual factory calibration is required throughout the duration of the work.

**3.0 CONSTRUCTION DETAILS**

- A. **General** – The Contractor shall engage the services of a firm capable of furnishing a New York State Licensed Professional Engineer to conduct a condition survey of the existing adjacent surrounding properties and buildings (see Attached Map). The Contractor shall engage the services of an experienced vibration monitoring consultant to measure peak particle velocities prior to, and during, the pile driving operations for the bulkhead and retaining walls. Submit the qualifications and experience of the firm’s personnel conducting the Building Condition Survey and Vibration Analysis.
- B. **Building Condition Survey** – Provide, as a minimum, the following information:
  - 1. Photographic and video documentation of the interior and exterior condition of the buildings, including retaining walls and support structures.
  - 2. Extent and location of existing signs of building or structure distress, such as cracks, spalling, signs of settlement, flooding, leaking, etc.

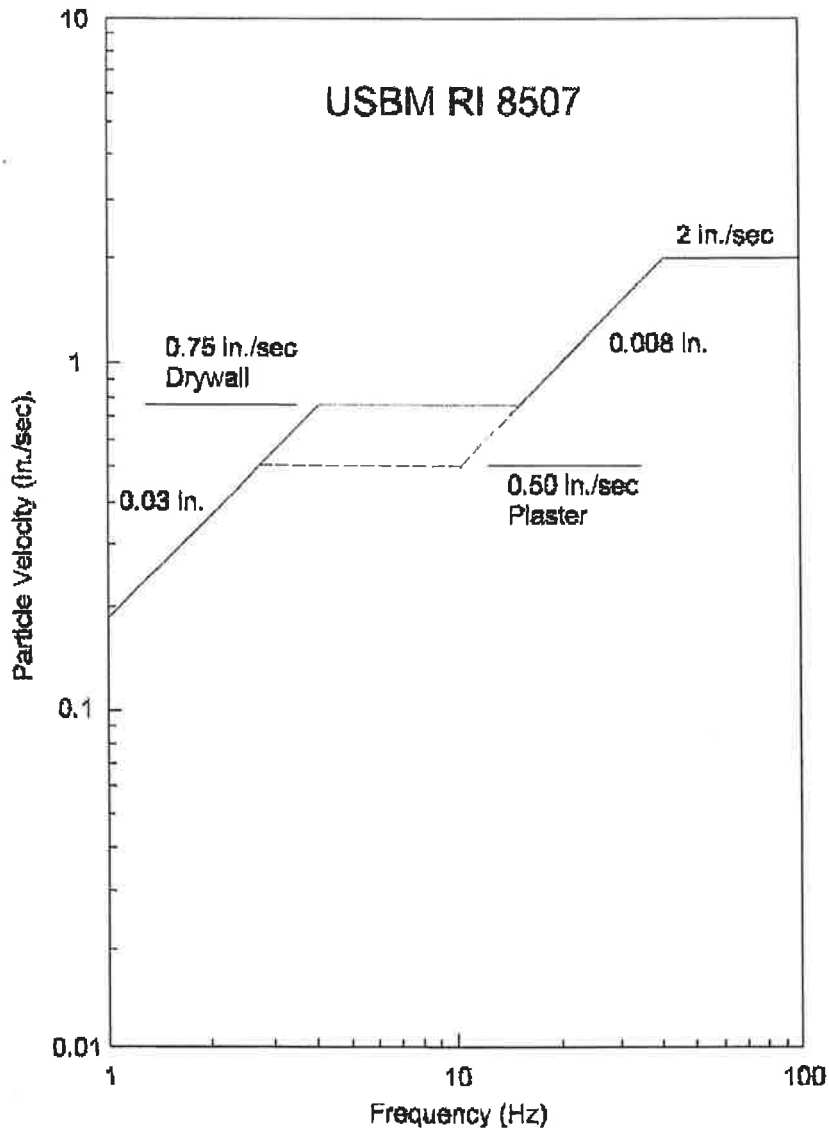
The Engineer may accompany the Contractor on each building condition survey for verification of the data recorded. Provide two (2) copies of all documentation of each building condition survey to the Engineer.



- C. **Vibration Monitoring** – Perform continuous vibration monitoring during the bulkhead pile driving operations. The Contractor shall perform the pile driving operations in such a manner as to limit vibrations to the allowable limits.
1. Prior to starting work, the Contractor shall submit a written Vibration Monitoring Plan to the Engineer, for approval. No work may start until the plan is approved by the Engineer and Village of Sea Cliff. The Vibration Monitoring Plan shall include the necessary information to outline the recording collection. The Vibration Monitoring Plan shall include, but not be limited to, the following items:
    - a. **General Information:**
      - i) The names of the specialists assigned to this work.
      - ii) The scheduled start date and length of construction operations which require vibration monitoring.
      - iii) The limits of vibration monitoring work, including adjacent properties.
      - iv) The location of all structures to be monitored in proximity to the construction operations.
      - v) The location of any underground utilities in proximity to the construction operations.
    - b. **Experience and Equipment**
      - i) Submit proof and details, as references, of two projects in the past five years where the vibration monitoring consultant performing the work has satisfactorily monitored construction operations by recording peak particle velocities (PPV's). Include contact information for each reference.
      - ii) Submit information on the required 3-component seismograph, capable of measuring particle velocity data in three mutually perpendicular directions, including manufacturers name, model number, and documentation of factory calibration performed within the prior 12 months.
    - c. **Methods and Procedures**
      - i) The location of adjacent structures to be monitored and maximum allowable PPV's as indicated by the chart in Figure 1.
      - ii) The location of seismograph(s) placements, as determined by the Consultant and the Engineer-of-Record for the project.
      - iii) Appropriate details for anchoring the geophone(s).
      - iv) The procedure for tracking PPV throughout the construction operations (e.g., Pile driving operations; pile tip vs. vibrations may be correlated through time of day. A record of the time of day at each depth interval, included on the pile driving records, would be required to correlate to a time-based readout of PPV).

**Figure 1 – Safe Vibration Limit Recommendations for Residential Structures**

*This figure provides a “threshold damage” limit, defined as cosmetic damage (e.g.; cracking) within a structure, categorized by both frequency ranges and particle velocity.*



2. **Measuring Vibrations** – The Contractor shall inform the Project Engineer immediately each time measured particle velocities exceed 85% of the allowable peak particle velocity. The Contractor shall make equipment or procedural modifications as required to avoid exceeding the allowable vibration intensity.

If the measured velocities exceed the maximum allowable PPV's, the Contractor shall stop operation immediately and revise equipment and procedures to reduce vibrations to allowable levels.

The Contractor shall be in communication with the monitoring firm's personnel during vibration monitoring at all locations to verify the data recorded.

The Contractor shall provide the project Engineer with the results of the daily vibration monitoring, one workday after the readings are taken. Upon completion of the construction operations, daily submittals shall be synthesized into a final report.

If the seismographs show any indication of damage during the duration of the monitoring, the seismographs shall be immediately recalibrated or replaced.

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DIEBICH ENGINEERING, P.C. 144 LENOX ROAD LEWINGTON STATION, NY 11766 Tel: (516) 481-4400 www.dieich.com		CONSULTANTS:																																																	
PROJECT:		ALLETTO PROPERTY 14 BAY AVENUE SEA CLIFF, NY																																																	
PROJECT:		NEW RETAINING WALLS																																																	
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**Marc Wenger**  
162 16<sup>th</sup> Ave.  
June 3<sup>rd</sup>, 2021

**Chairman Bruce Trieber & Members of the Planning Board**  
**Village of Sea Cliff**  
**June 3, 2021**

Re: 14 Bay Ave. Revised Engineering Plan

We live 2 houses away from 14 Bay Ave., 55 feet from the property line. We have been involved for years, with our neighbors, in negotiations and discussions with the Planning Board in an effort to protect our homes from damage that may be caused by earth movement and vibration as a result of the 14 Bay Ave. cliff remediation.

Our home does not have homeowners insurance covering earth movement we are left with no protection against property damage from this project. The damage to our brick foundation (built in 1873), hand built cesspools, and 4 fragile stone retaining walls could be substantial.

In the past, the Planning Board had excluded pile driving and limited vibratory driving to the lower cliff giving us some degree of protection. With the revised Deitrich Engineering Plan calling for the addition of 30, 54 foot steel beams near street level, the potential for damage is dramatically increased dependent upon installation technique. This was confirmed by the Sea Cliff Engineering consultant, Nicholas DeSantis, stating that use of vibratory driving in close proximity to our homes increased the risk of damage.

We hope and expect that the Planning Board will give consideration to these issues and do what they can to protect and preserve our neighborhood.

Respectfully,

Marc Wenger  
162 16<sup>th</sup> Ave.

dennis buckley  
14 Bay Ave.  
June 1, 2021 at 3:31 PM  
Wheeler Cecilia

Chairman Bruce Trieber & Members of the Planning Board  
Village of Sea Cliff  
May 31, 2021

Re: 14 Bay Ave. Revised Engineering Plan

We live across the street from 14 Bay Ave., 55 feet from the property line. We have been involved for years, with our neighbors, in negotiations and discussions with the Planning Board in an effort to protect our homes from damage that may be caused by earth movement and vibration as a result of the 14 Bay Ave. cliff remediation.

In a situation where all the immediate homes, including ours, do not have home owners insurance covering earth movement we are left with no protection against property damage from this project. As most of the nearby homes are 130 years old, the damage to plaster ceilings, brick foundation, hand built cesspools and fragile stone retaining walls could be substantial.

In the past, the Planning Board had excluded pile driving and limited vibratory driving to the lower cliff giving us some degree of protection. With the revised Deltrich Engineering Plan calling for the addition of 30, 54 foot steel beams near street level the potential for damage is dramatically increased dependent upon installation technique. This was confirmed by the Sea Cliff Engineering consultant, Nicholas DeSantis, stating that use of vibratory driving in close proximity to our homes increased the risk of damage.

The current configuration of the proposed 14 Bay Ave. project also eliminates the view of Long Island Sound from our front porch which will substantially reduce the value of our house. This is in opposition to the intent of Village Code 107-5 and the responsibility of the Planning Board to prevent depreciation to neighboring properties.

We hope and expect that the Planning Board will give consideration to these issues and do what they can to protect and preserve our neighborhood.

Respectfully,

Dennis J. Buckley  
25 Bay Ave.



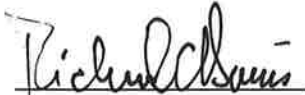


To: Chair, Sea Cliff Village Planning Board  
From: Richard and Irene Harris; 156 16<sup>th</sup> Avenue, Sea Cliff  
Date: June 6, 2021  
Subject: Proposal for project at 14 Bay Avenue

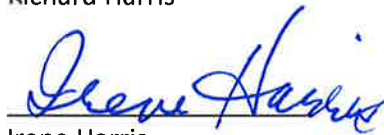
We reside at 156 16<sup>th</sup> Avenue, half a block from the property at 14 Bay Avenue. We think it is important that the Planning Board be aware of the impact this proposed project will have on us, our neighbors, and the local community. We oppose the project regarding 14 Bay Avenue as it is most recently presented.

The property on Bay Avenue was compromised seven years ago. The proposals for renewing that property involve work that will present great inconvenience to the residents of 16<sup>th</sup> Avenue and other parts of the Bay Avenue section. Large trucks using 16th and nearby streets create many problems with traffic flow and parking. More importantly, the use of these trucks and the proposal to deal with the cliffside property at 14 Bay Avenue will represent the possibility, if not probability, of significant physical damage to the other 100-year-old houses and properties in the immediate area, i.e., damage to foundations, exterior retaining walls, interior plaster walls, and septic systems. While research indicates previously suggested pile-driving would certainly have a dramatic effect on nearby properties, a vibrating process also presents clear danger to the structures mentioned above.

We urge you to deny this proposal for the reasons noted above.



Richard Harris



Irene Harris